



**Planning Commission
Agenda
Wednesday, July 15, 2026, 6:30 PM**

Work Session, 5:30 PM, Council Chambers Conference Room, City Hall, 114 North Broad Street, Salem, Virginia 24153

Regular Session, 6:30 PM, Council Chambers, City Hall, 114 North Broad Street, Salem, Virginia 24153

WORK SESSION

1. Call to Order
2. **New Business**
 - A. **July Agenda**
 1. 1923 East Main Street - SEP - Educational Facilities, primary/secondary
 2. 501 West 4th Street - SEP - Retail Sales, smoke shop
 3. 1936 West Main Street - SEP & Use Not Provided For
 - B. **August Agenda**
 1. 432 Chestnut Street - SEP - Two-family dwelling
3. Adjournment

REGULAR SESSION

1. Call to Order
 - A. **Pledge of Allegiance**
 - B. **Roll Call**
2. Consent Agenda
 - A. **Minutes**

Consider acceptance of the minutes from the May 13, 2026 work session and regular meeting.
3. Reports
 - A. **Site Plan and Subdivision Plat Approvals**

Receive report of the site plan and subdivision plat approvals for the months of May and June 2026.

4. Public Hearing Items

A. Special Exception Permit

Hold public hearing and consider the request of Community Church Inc, property owner and Cornerstone Classical Academy, lessee, for the issuance of a Special Exception Permit to allow for an Educational Facility, Primary/Secondary, on the property located at 1923 East Main Street (Tax Map #78-1-14).

B. Special Exception Permit

Hold public hearing and consider the request of Robertson Family Revocable Trust, property owner and Amer Alsayadi, lessee, for the issuance of a Special Exception Permit to allow retail sales, smoke shop, on the property located at 501 West 4th Street (Tax Map #143-3-14).

C. Special Exception Permit and Use Not Provided For Permit

Hold public hearing at the request of The Preston Place Preservation Foundation Inc., property owner, for a Special Exception Permit to allow an assembly hall, nonresidential uses in an accessory structure, & nonresidential uses out of doors, and a Use Not Provided for Permit for outdoor gatherings of less than 500 people on the property located at 1936 West Main Street (Tax Map #138-2-7).

1) Special Exception Permit

Consider the request for a Special Exception Permit to allow an assembly hall, nonresidential uses in an accessory structure, & nonresidential uses out of doors.

2) Use Not Provided For Permit

Consider the request for a Use Not Provided for Permit for outdoor gatherings of less than 500 people.

5. Other Business

A. Remote Participation Policy

Consider resolution to adopt a Remote Participation Policy for Commissioner participation in Planning Commission meetings for Fiscal Year 2025-2026.

B. Election of Vice Chair for the remainder of 2026.

6. Adjournment



**PLANNING COMMISSION
MINUTES**

Wednesday, May 13, 2026, at 6:30 PM

Work Session, 5:30 PM, Council Chambers Conference Room, City Hall,
114 North Broad Street, Salem, Virginia 24153

Regular Session, 6:30 PM, City Hall, 114 North Broad Street, Salem, Virginia 24153

WORK SESSION

1. Call to Order

A work session meeting of the Planning Commission of the City of Salem, Virginia, was held in the Council Chambers Conference Room, City Hall, 114 North Broad Street, at 5:30 p.m., on Wednesday, May 13, 2026, there being present the following members of said Commission, to wit: Denise P. King, Reid Garst, Mark Henrickson, and Nathan Routt, constituting a legal quorum, with Chair King, presiding; together with Rob Light, Assistant City Manager and Deputy Executive Secretary, ex officio member of said Commission. Charles Van Allman Jr., Director of Community Development; Mary Ellen Wines, Planning and Zoning Administrator; Maxwell S. Dillon, Planner; Jim Guynn, City Attorney; and the following business was transacted:

Chair King reported that this date, place, and time had been set in order for the Commission to hold a work session. The work session meeting was called to order at 5:31 p.m.

A discussion was held on the following items:

2. New Business

A. Items for the May agenda

1. 213 Rutledge Circle – Two family dwelling
2. June agenda – No items

B. Additional Discussion Items

1. Code Changes
2. CDBG grant
3. Stormwater Utility Fee

3. Adjournment

Chair King adjourned at 6:25 p.m.

REGULAR SESSION

1. Call to Order

A regular meeting of the Planning Commission of the City of Salem, Virginia, was held in the Council Chambers, City Hall, 114 North Broad Street, at 6:30 p.m., on Wednesday, May 13, 2026, there being present the following members of said Commission, to wit: Denise P. King, Reid Garst, Mark Henrickson, and Nathan Routt, constituting a legal quorum, with Chair King, presiding; together with Rob Light, Assistant City Manager and Deputy Executive Secretary, ex officio member of said Commission, Charles E. Van Allman Jr., Director of Community Development; Mary Ellen Wines, Planning and Zoning Administrator; Maxwell S. Dillon, Planner; and Jim Guynn, City Attorney, and the following business was transacted:

Chair King called the May meeting of the City of Salem Planning Commission to order at 6:30 p.m. reporting that this date, place, and time had been set in order for the Commission to hold a public meeting.

A. Pledge of Allegiance

B. Roll call

Mr. Routt - Here
Mr. Henrickson - Here
Mr. Beamer - Absent
Mr. Garst - Here
Chair King – Here

2. Consent Agenda

A. Minutes

Consider acceptance of the minutes of April 15, 2026, work session and regular meeting.

Chair King asked the Commission if anyone had any questions, additions, or comments. Hearing none, the minutes were accepted.

3. Reports

A. Site Plan and Subdivision Plat approvals

Max Dillon referenced a one-page report included in the agenda packet acknowledging the number of approved site plans and subdivisions over the past month. The report shows two site plan approvals. One was a major and one was a minor site plan. The major site plan was located at 101 Electric Road, McDonalds. The minor site plan was for 4th Street for an office/contractor's yard. One subdivision approval is located on the corner of Highland Road and Midland Road.

Chair King asked the Commission if anyone had any questions, additions, or comments. Hearing none, the site plan and subdivision plat report was accepted.

4. Public Hearing Item

Hold a public hearing to consider the request of DSB PROPERTIES LLC, property owner, for a special exception permit to allow a two Family dwelling on the property located at 213 Rutledge Circle (Tax Map #59-2-3.2).

Proper legal notice has been given, and the property owner has been notified of said hearing.

Chair King asked if the applicant's representative was present and able to provide information

Barney Horrell, Brushy Mountain Engineering, 3553 Carvins Cove Road, representing the property owner, Daniel Dyer who is also present. Mr. Dyer is proposing that this current lot which is vacant, be allowed to have a two-family dwelling built on it. The applicant provided a concept with the understanding a plot plan and a site plan will need to be provided and to be approved by the zoning department.

Chair King, noticing that the concept plan shows one side of the duplex extending out farther on one side than the other questioned if that was just part of the concept plan or is that a representation of the way the building would be built.

Mr. Horrell answered that detail would be worked out in the future. The applicant's main purpose is to see if a duplex would even be allowed on that parcel of land.

Mr. Garst stated that the concept shows that it follows the plat showing the frontage allowed.

Chair King opened the public hearing at 6:33 p.m.

Chair King asked for clarification that there were trees shown in the proposed driveways and a telephone pole located in the middle of the parcel.

Mr. Horrell and Mr. Dyer stated that the removing of the telephone pole is not part of the plan. Mr. Dyer went on to explain that the road to the property is a private road.

Chair King asked Ms. Wines if there had been any correspondence concerning this matter.

Ms. Wines stated that one neighbor was concerned with maintenance of the property, or the

lack of, being that it is a vacant lot. The neighbor has had issues with mowing in the

past. The neighbor was concerned about what the future maintenance would be of a two-family residence.

Mr. Horrell stated that once a structure was built on the site the mowing would be more regular and it will provide the owner with more opportunities to stop by and visit the property on a regular basis.

Chair King asked if there was anyone else who would like to speak, seeing no one, she closed the public hearing at 6:37 p.m.

Mr. Garst made a motion to recommend approval. Mr. Henrickson 2nd the motion.

Roll Call	Mr. Routt	aye
	Mr. Henrickson	aye
	Mr. Beamer	absent
	Mr. Garst	aye
	Chair King	aye

5. Other Business

A. Cancellation of June Meeting

Chair King stated that there are no items on the June agenda.

Mr. Routt made a motion to cancel the June meeting. Mr. Henrickson 2nd the motion.

Roll Call	Mr. Routt	aye
	Mr. Henrickson	aye
	Mr. Beamer	absent
	Mr. Garst	aye
	Chair King	aye

6. Adjournment

Chair King stated there was no additional business for the Planning Commission and the meeting was adjourned at 6:38p.m.

SALEM VA



COMMUNITY DEVELOPMENT

Site Plan Approvals

May 2026	
Name/Location	Type
None	N/A

June 2026	
Name/Location	Type
23 Dixie Drive	Minor

Subdivision Approvals

May 2026	
Name/Location	Type
231 South Colorado Street	Subdivision
418, 424 West 4 th Street and 430 Elm Street	Combination

June 2026	
Name/Location	Type
None	N/A



Item #: 4.A.

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF
SALEM, VIRGINIA HELD AT CITY HALL

MEETING DATE: July 15, 2026

AGENDA ITEM: **Special Exception Permit**
Hold public hearing and consider the request of Community Church Inc, property owner and Cornerstone Classical Academy, lessee, for the issuance of a Special Exception Permit to allow for an Educational Facility, Primary/Secondary, on the property located at 1923 East Main Street (Tax Map #78-1-14).

SUBMITTED BY: Mary Ellen Wines, Planning & Zoning Administrator, Maxwell Dillon, Planner

SUMMARY OF INFORMATION:

Zoning: RSF Residential Single Family

Land Use Plan Designation: Commercial

Existing Use: Religious Assembly (Church)

Proposed Use: Religious Assembly (Church) and Education Facilities, Primary/Secondary

The subject property (1923 East Main Street) consists of a 2.26-acre tract of land which currently sits within the RSF Residential Single Family zoning designation. The property is currently utilized by CommUNITY Church for its operations. In the fall of 2026, CommUNITY Church began allowing Cornerstone Classical Academy, a hybrid school serving homeschooling families in the Roanoke Valley, to utilize a portion of its facility to conduct its activities. Cornerstone Classical Academy services approximately 285 K-12 students with 48 staff members, operating for 30 weeks during the year which equates to 90 days in attendance.

The applicant is requesting a Special Exception Permit for Education Facilities, Primary/Secondary which is required in order to operate a school in the RSF Residential Single Family zoning district. Cornerstone Classical Academy is also working with the Building Official and Fire Marshal to verify that all structures utilized meet the applicable codes to ensure safety for students and staff.

If the Special Exception Permit is approved, a minor site plan displaying parking figures and traffic flow circulation may be required.

The Future Land Use Map (FLUM) identifies this parcel as commercial, though the historical and future use of the property as a church presents an opportunity for an educational facility to operate in conjunction with a Religious Assembly.

FISCAL IMPACT:

STAFF RECOMMENDATION:

Educational facilities are generally compatible with religious assemblies because they share similar operational characteristics such as parking and community focused activities and typically occupy the property on differing days and times.

Staff recommends approval of this request with the following conditions:

1. A minor site plan must be submitted to Community Development staff within a month of approval to verify on-site parking and to ensure safe traffic circulation throughout the property and surrounding streets.
2. The allowance for the operation of Education Facilities, Primary/Secondary be valid so long as a Religious Assembly is concurrently operating on-site.

ATTACHMENTS:

1. 1923 East Main Street SEP application
2. Architectural Drawings CommUNITY Church
3. Affidavit
4. 1923 East Main Street neighbor notification map



Application Data for Application Number: Z26-30114

Application Type Zoning
Application Sub-Type Special Exception
Applicant Cornerstone Classical Academy
Location 1923 E MAIN ST SALEM VA 24153
Applicant Address 1862 Bridle Lane
Roanoke, VA, 24018
Property Owner COMMUNITY CHURCH INC
Owner Address 1923 E MAIN ST
SALEM, VA, 24153
Tax Parcel 78-1-14

Application Information

Section	Question	Answer
Details and Scope of Work	Please provide a detailed description of the work associated with this application.	Cornerstone is a hybrid school that serves homeschooling families in the Roanoke Valley. We have 285 students and 48 teachers who meet two to three days a week depending on grade level. Cornerstone operates for 30 weeks which equates to 90 days in attendance. We serve a population of kindergarten through twelfth grade. CCA operates from 7:30 am through 3:00 pm on Monday, Wednesday and Thursday when in session during the months of September through mid-May.
Existing Structure Info	Year Built	1965
	Property Description	Church
	Number of Stories	3
	Number of Rooms	0
	Number of Bedrooms	0
	Number of Bathrooms	8
	Type of Roof	Comp Shg
	Type of Exterior	Brick
	Type of Basement	Full-Fin
Parcel Information	Finished Square footage of Primary Building	32520.00
	Lot Size Acres	2.26
	Lot Size SQFT	98446.00
	Zoning Classification	RSF
	Legal Description	PARCEL B1 2.341 AC TABERNACLE BAPTIST CH
Special Exception Details	PID	9722
	Please advise Current Zoning type	RSF - Residential Single Family District
	Please advise current use	Religious-Church
	Please advise future use	Church/Educational

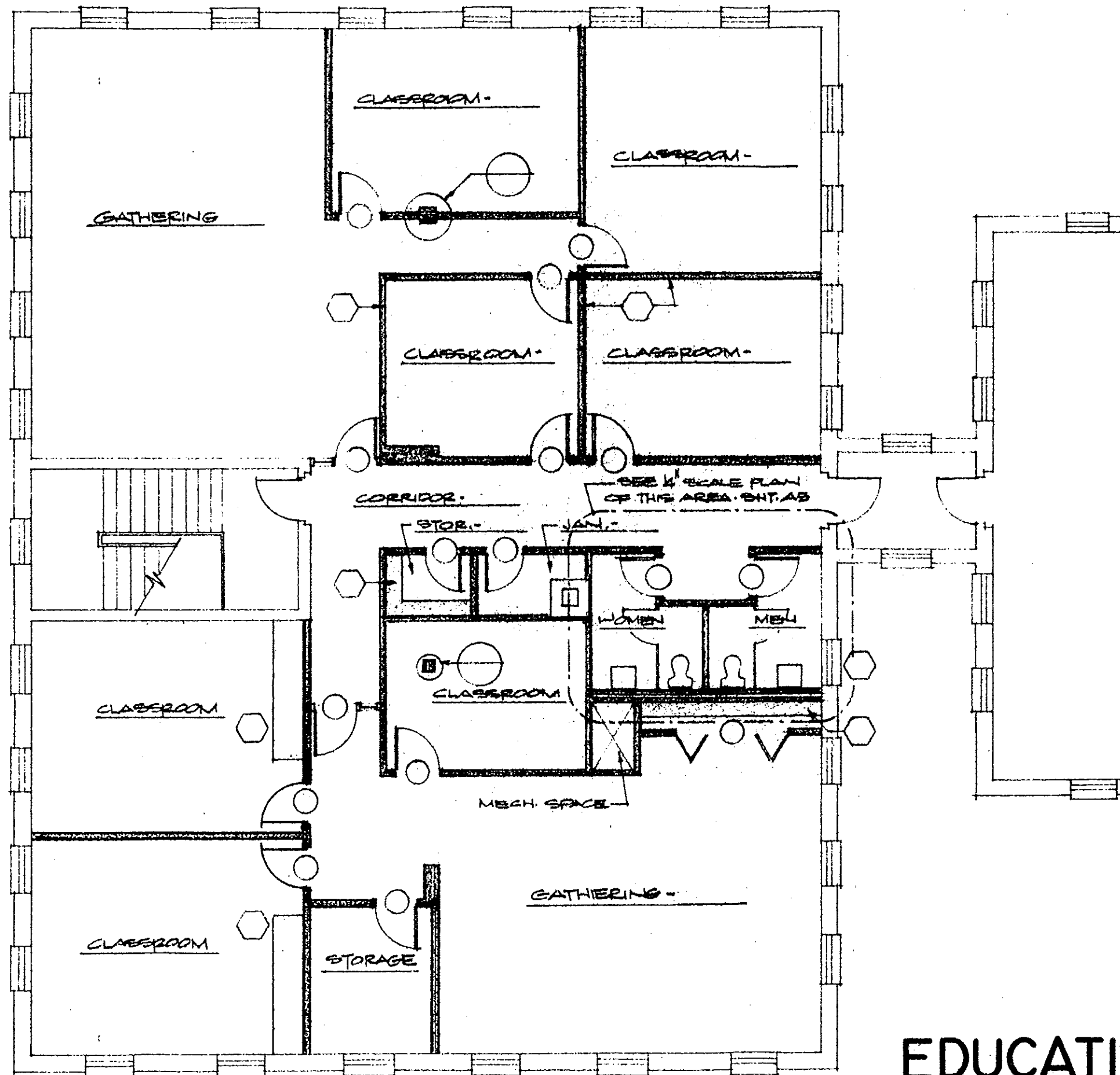
SALEM VA

COMMUNITY DEVELOPMENT

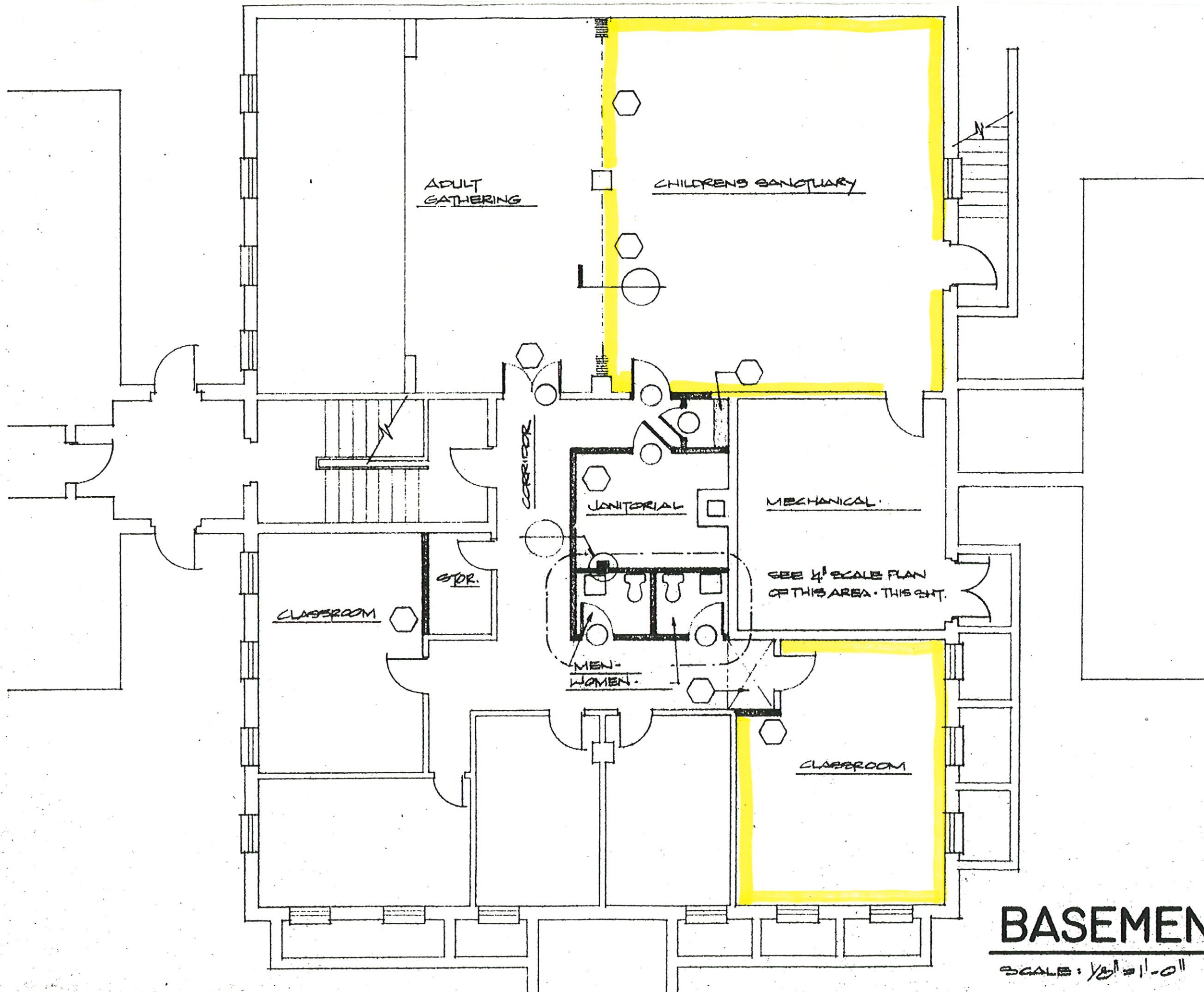
Special Exception Details	Please advise designation from the future land use map	Residential
	Is the building or parcel in a district currently designated as historic	No
	If yes, describe the proposed measures for meeting the standards of the Department of Historic Resources	N/A
	This Special Exception/Use Not Provided For is being requested in order to?	We are requesting this special exception to utilize the educational building attached to CommUNITY Church to operate a hybrid school. This will allow families to have access to this educational choice for their children. By serving as a ministry partner with CommUNITY Church, we are able to deliver this model at an affordable cost.
	Describe in detail how you plan to develop the property for the proposed use and any associated uses	No plans to develop the property outside of its existing structure.
	Describe why the proposed use or exception is desirable and appropriate for the area	Cornerstone will be good stewards are the neighborhood and provide access to a hybrid education in the Salem community. CommUNITY Church had an educational wing of their church being used minimally and offered the use of it to Cornerstone to continue our mission of serving homeschooling families in the Valley. The building serves our needs by providing multiple classrooms, access to the sanctuary for chapel, the fellowship hall for large events, and an outdoor playground for our students.
	What measures will be taken to assure that the proposed use or exception will not have a negative impact on the surrounding vicinity?	We strive to be good neighbors to all those in the community. When we first started, there were some traffic issues due to dropping off and picking up of students. Our school schedule conflicted with Salem City Schools bus drop off. We worked alongside the Salem City School system to make sure we didn't conflict with their current bus schedule and altered our dismissal plans promptly. We also spoke with the Salem Police Department to make sure we did not back up on East Main Street. Our desire is to make a positive impact in the neighborhood. CCA went door to door in the neighborhood and left information about our operation so the neighborhood was aware when we meet and at what times traffic will be heaviest.
	Is the subject property located within the Floodplain District?	No
	If yes, describe the proposed measures for meeting the standards of the Floodplain Ordinance	N/A

SALEM VA
COMMUNITY DEVELOPMENT

Special Exception Details	Have you provided a conceptual plan of the proposed development, including general lot configurations and road locations?	No
	Are the proposed lot sizes compatible with existing parcel sizes in the area?	N/A

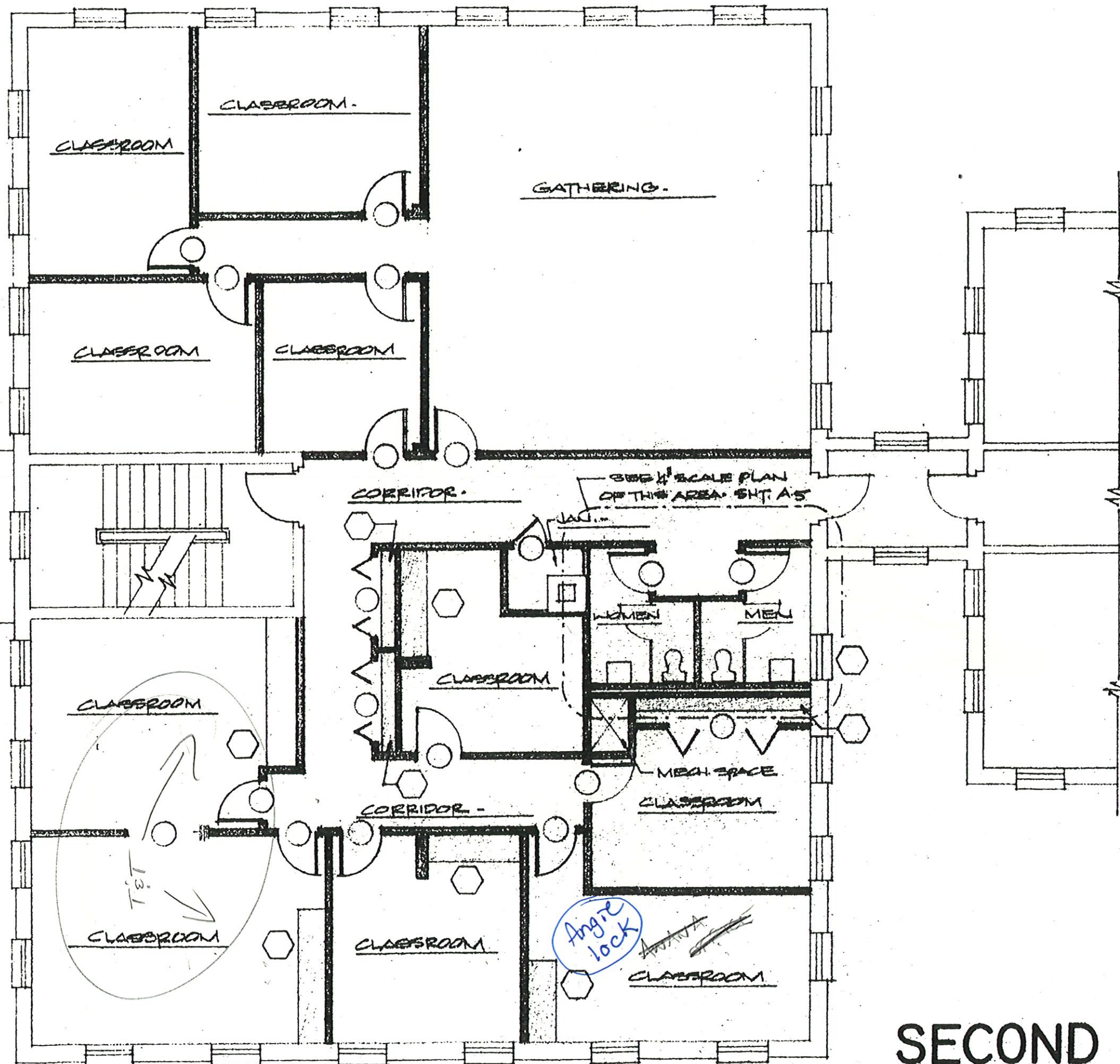


EDUCATION BLDG.
THIRD FLOOR PLAN



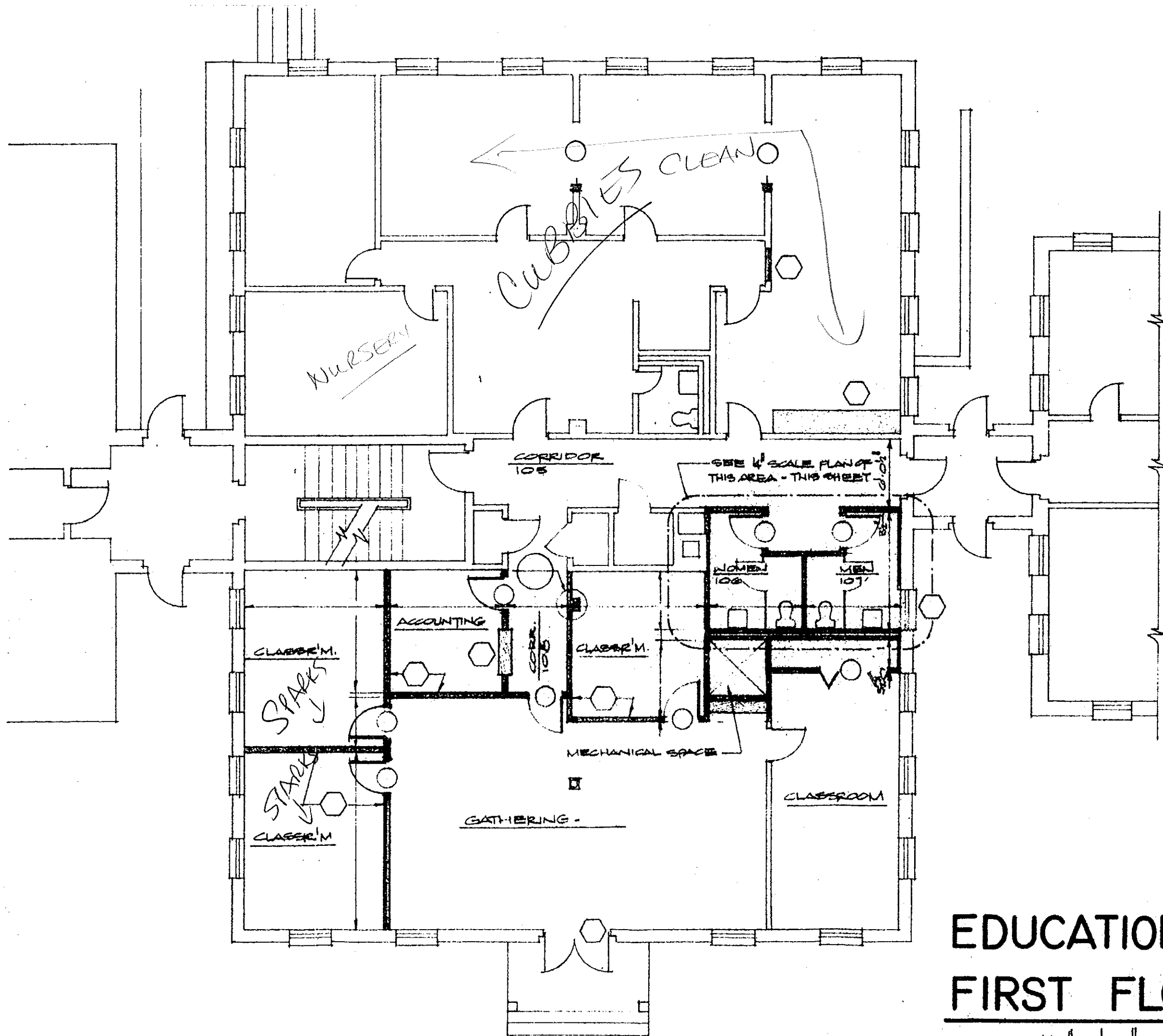
BASEMENT PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: $\frac{1}{8}" = 1'-0"$



EDUCATION BLDG.
FIRST FLOOR PLAN

AFFIDAVIT OF MAILING PURSUANT TO S15.2-2204**CODE OF VIRGINIA****PLANNING COMMISSION****ITEM #****July 15, 2026**

This is to certify that I mailed letters in reference to the request of Community Church Inc, property owner and Cornerstone Classical Academy, lessee, for the issuance of a Special Exception Permit to allow for an Educational Facility, Primary/Secondary, on the property located at 1923 East Main Street (Tax Map # 78-1-14) to the following property owners and adjacent property owners on June 26, 2026 in the 2:00 p.m. mail.

Parcel	Owner Name	Address 1	City	State	Zip
77-5-10	RESTORATION TURNKEY INVESTMENTS LLC	925 1ST ST SW	ROANOKE	VA	24016
77-5-11	LYNCH, IAN ANDREW	113 BELLEVUE AVE	SALEM	VA	24153
77-5-12	NATIONAL BUSINESS COLLEGE CORPORATION	1813 E MAIN ST	SALEM	VA	24153
78-1-10	DICKERSON, DREW T	103 POINT PLEASANT AVE	SALEM	VA	24153
78-1-11	FERGUSON, WENDY C WHITE	653 HEMLOCK RD	SALEM	VA	24153
78-1-11.1	HUGGETT, BRENDA HAMLIN	1528 MASON ST	SALEM	VA	24153
78-1-12	JONES, RICHARD E	31 POINT PLEASANT AVE	SALEM	VA	24153
78-1-13	AUNE, SHAYNE C	29 POINT PLEASANT AVE	SALEM	VA	24153
78-1-14	COMMUNITY CHURCH INC	1923 E MAIN ST	SALEM	VA	24153
78-1-3	HERRERA, FREDY O	116 BELLEVUE AVE	SALEM	VA	24153
78-1-4	106 BELLEVUE LLC	3000 PEPPERS FERRY RD NW	RADFORD	VA	24141

78-1-5	UNDERWOOD, MARY E	100 BELLEVUE AVE	SALEM	VA	24153
78-1-9	HUGHES MICHELLE L	105 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2	BOOKER, SHERILYN	7718 FERN HOLLOW DR	CHESTERFIELD	VA	23832-2547
78-2-2.1	HUFFMAN, DARRELL R	18 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.11	DOYLE PROPERTIES LLC	204 S JEFFERSON ST UNIT 5	ROANOKE	VA	24011
78-2-2.2	HUEMMER, MICHAEL J	22 PT PLEASANT AVE	SALEM	VA	24153
78-2-2.3	ALBRIGHT, CHARLES J JR	26 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.4	FIELDS, REBECCA L	30 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.5	SCHMIDT PEGGY J	34 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.6	HUBBLE LESLIE D	38 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.7	WINGO CHARLOTTE A	100 POINT PLEASANT AVE	SALEM	VA	24153
78-2-2.8	WAGONER, EDWARD M II	104 POINT PLEASANT AVE	SALEM	VA	24153
78-3-5	OAK PARK APARTMENTS LLC	3722 N PERSHING DR	ARLINGTON	VA	22203
79-1-1	BODE TIMOTHY D	1836 CONEHURST BLVD	SALEM	VA	24153
79-2-1	HAMLETT, DOLORES ELLEN	2 BURCHETTE ST	SALEM	VA	24153
79-2-17	CHERNAULT PROPERTIES LLC	2030 E MAIN ST	SALEM	VA	24153
79-2-18	MCLEOD FAMILY FOUNDATION INC	410 FIRST ST SW	ROANOKE	VA	24011
79-2-19	MCLEOD FAMILY FOUNDATION INC	410 FIRST ST SW	ROANOKE	VA	24011

79-2-2	ARRINGTON, JAMES L	28 BURCHETTE ST	SALEM	VA	24153
79-2-20	CHERNAULT, GEORGE ROBERT	2030 E MAIN ST	SALEM	VA	24153
80-2-14	KIBLER VICKIE S	1822 CONEHURST BLVD	SALEM	VA	24153
80-2-15	GREEN, SUSAN A-LIFE ESTATE	1828 CONEHURST BLVD	SALEM	VA	24153

Signed: Max Dillon Date: 6/26/26

Max Dillon

City of Salem

Commonwealth of Virginia

The foregoing instrument was acknowledged before me this 26th day of June, 2026, by

Tammy Dunn

Notary Public

My commission expires 10/31/2028





City of Salem, VA

1923E Main



Date Created: 6/8/2026
Created By: anonymous

1 inch = 296 feet
|-----|

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Item #: 4.B.

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF SALEM, VIRGINIA HELD AT CITY HALL

MEETING DATE: July 15, 2026

AGENDA ITEM: **Special Exception Permit**
Hold public hearing and consider the request of Robertson Family Revocable Trust, property owner and Amer Alsayadi, lessee, for the issuance of a Special Exception Permit to allow retail sales, smoke shop, on the property located at 501 West 4th Street (Tax Map #143-3-14).

SUBMITTED BY: Mary Ellen Wines, Planning & Zoning Administrator, Maxwell Dillon, Planner

SUMMARY OF INFORMATION:

Zoning: HBD Highway Business District
Land Use Plan Designation: Commercial
Existing Use: Vacant (previously restaurant)
Proposed Use: Retail Sales, smoke shop

The subject property (501 West 4th Street) consists of a 0.255-acre tract of land which currently sits within the HBD Highway Business District zoning designation. The applicant, who currently manages two tobacco retail stores in the region, is requesting a Special Exception Permit in order to operate a retail sales, smoke shop at that location.

In July of 2024, the Virginia General Assembly adopted legislation allowing localities to regulate the retail sale locations of tobacco products, nicotine vapor products, alternative nicotine products, or hemp products intended for smoking for any such retail sale location and may prohibit a retail sale location on property within 1000 linear feet of a child day center of a public, private, or parochial school.

As a result, in October of 2024, City Council adopted an adjustment to the zoning ordinance which created a use type, "Retail Sales, smoke shop," distinguishing general retail sales from the retail sale of tobacco, nicotine, or hemp products. That new use type is now permitted in the HBD Highway Business District zoning designation by

Special Exception Permit, and applicable businesses are subject to the following use and design standards:

- No retail sale location of tobacco products, nicotine vapor products, alternative nicotine products, or hemp shall be located within 1000 feet of a child day care center or a public, private, or parochial school.
- All windows and doors facing the street right of way shall be maintained as transparent and shall not be tinted or obscured. Smoking, vaping or other related products and paraphernalia shall not be displayed as to be seen from adjacent properties.

There are currently eleven operational smoke shops in the City of Salem, all of which are considered legal nonconforming due to their existence prior to the Special Exception Permit requirement.

FISCAL IMPACT:

STAFF RECOMMENDATION:

This property's location along a highly visible and well-traveled route situates it as a consequential element of the corridor's commercial offerings and aesthetic. As noted in the Comprehensive Plan, establishing a retail node along 4th Street to accommodate food, beverage, and small retail was a community interest, and one that is not fulfilled by this proposal. As a result, staff recommends denial of this request noting that a retail sales, smoke shop is not the highest and best use of the property.

ATTACHMENTS:

1. 501 West 4th Street SEP application
2. 501 West 4th Street signage concept
3. Retail Sales, smoke shop map
4. Affidavit
5. 501 West 4th Street neighbor notification map



Application Data for Application Number: Z26-30101

Application Type Zoning
Application Sub-Type Special Exception
Applicant Amer Alsayadi
Location 501 W 4TH ST SALEM VA 24153
Applicant Address 501 west 4th street
Property Owner ROBERTSON FAMILY REVOCABLE TRUST
Salem,VA,24153
Owner Address C/O ROBERT H ROBERTSON & JEAN G ROBERTSON-TR 3332 SOMERCROFT CT
Tax Parcel 143-3-14 ROANOKE, VA,24014-1369

Application Information

Section	Question	Answer
Details and Scope of Work	Please provide a detailed description of the work associated with this application.	
Existing Structure Info	Year Built	1988
	Property Description	Fast Food Restaurant
	Number of Stories	1
	Number of Rooms	0
	Number of Bedrooms	0
	Number of Bathrooms	1
	Type of Roof	Metal
	Type of Exterior	Wood
	Type of Basement	None
	Finished Square footage of Primary Building	1500.00
Parcel Information	Lot Size Acres	0.26
	Lot Size SQFT	11090.00
	Zoning Classification	HBD
	Legal Description	PT LT 2 SEC 203 LT ELM ST
	PID	1959
Special Exception Details	Please advise Current Zoning type	HBD - Highway Business District
	Please advise current use	Vacant commercial retail space
	Please advise future use	Tobacco retail store
	Please advise designation from the future land use map	Commercial
	Is the building or parcel in a district currently designated as historic	No

SALEM VA

COMMUNITY DEVELOPMENT

Special Exception Details	If yes, describe the proposed measures for meeting the standards of the Department of Historic Resources	
	This Special Exception/Use Not Provided For is being requested in order to?	Operate a tobacco retail business within the existing commercial space.
	Describe in detail how you plan to develop the property for the proposed use and any associated uses	The existing vacant commercial retail space will be used as a tobacco retail store. Minor interior improvements may include shelving, counters, lighting, flooring, painting, and display fixtures. No structural changes or expansion of the building are proposed.
	Describe why the proposed use or exception is desirable and appropriate for the area	The proposed tobacco retail use is appropriate for the Highway Business District and is consistent with surrounding commercial uses. The project will occupy an existing vacant retail space and provide additional retail services for the area.
	What measures will be taken to assure that the proposed use or exception will not have a negative impact on the surrounding vicinity?	The business will operate within the existing commercial building with no major exterior changes. The property will be maintained in a clean and safe condition, adequate parking already exists, and the business will comply with all city regulations and operating requirements.
	Is the subject property located within the Floodplain District?	No
	If yes, describe the proposed measures for meeting the standards of the Floodplain Ordinance	
	Have you provided a conceptual plan of the proposed development, including general lot configurations and road locations?	No
	Are the proposed lot sizes compatible with existing parcel sizes in the area?	Yes. The existing parcel and building size are consistent with surrounding commercial properties in the area.

24 TOBACCO
SIGNAGE CONCEPT

SIGN TYPE:
ILLUMINATED
CHANNEL LETTERS

DIMENSIONS:
24" HIGH x 168" WIDE
(2' HIGH x 14' WIDE)

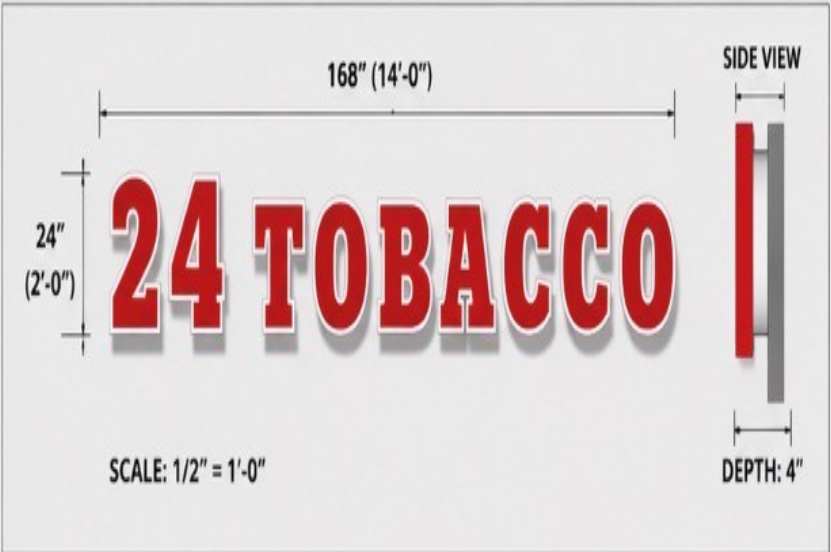
AREA:
28 SQ FT

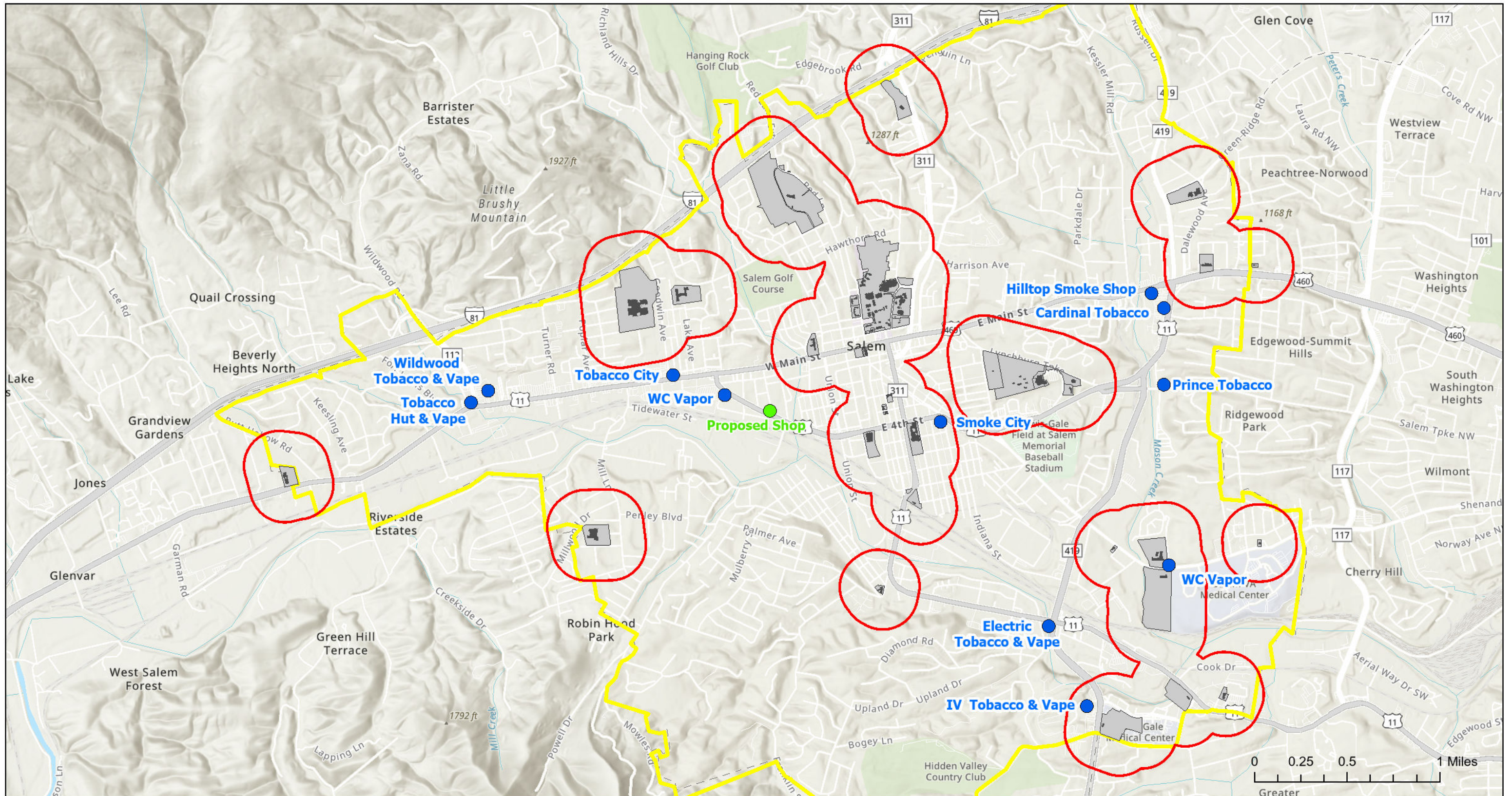
LOCATION:
WALL MOUNTED ABOVE
MAIN ENTRANCE

ILLUMINATION:
INTERNAL LED
ILLUMINATION



NIGHT VIEW (ILLUMINATED)





N

CITY OF SALEM

SCHOOL AND DAYCARE FACILITIES

Legend

School/Daycare Facility

School/Daycare Property

1,000 ft

Smoke Shops

Existing

Proposed

**AFFIDAVIT OF MAILING PURSUANT TO S15.2-2204
CODE OF VIRGINIA**

**PLANNING COMMISSION
July 15, 2026**

ITEM #

This is to certify that I mailed letters in reference to the request of Robertson Family Revocable Trust, property owner and Amer Alsayadi, lessee, for the issuance of a Special Exception Permit to allow a retail sales, smoke shop on the property located at 501 West 4th Street (Tax Map # 143-3-14) to the following property owners and adjacent property owners on June 26, 2026 in the 2:00 p.m. mail:

Parcel	Owner Name	Address 1	City	State	Zip
143-1-11	FERGUSON LIVING TRUST	8158 BENT MOUNTAIN RD	ROANOKE	VA	24018
143-2-5	UTT, JASON	5328 GRANDIN RD EXT	ROANOKE	VA	24018
143-2-6	HIGINBOTHAM M FERRELL	1143 MOONVIEW LN	MONTVALE	VA	24122-2850
143-3-10	SOUTH SALEM LLC	5466 W RIVER RD	SALEM	VA	24153
143-3-11	WITT, GORDON	1502 EMERALD LAKE CIR APT 102	ELIZABETH CITY	NC	27909-3148
143-3-12	COLLINS ZENDA G	238 WILSON ST	SALEM	VA	24153-3524
143-3-13	MONAHAN JEAN	3332 SOMERCROFT CT	ROANOKE	VA	24014
143-3-14	GLASGOW ROBERTSON FAMILY REVOCABLE TRUST	3332 SOMERCROFT CT	ROANOKE	VA	24014-1369
143-3-15	WATSON, JANE AYERS- SALIBRICI	2860 TIMBERVIEW RD	ROANOKE	VA	24019-5918
143-3-16	BRADLEY JAMES W	303 ELM ST	SALEM	VA	24153-3541
143-3-17	HARRELL, PHILIP JORDAN	243 ELM ST	SALEM	VA	24153
143-3-18	MCLEOD FOUNDATION, INC	410 FIRST ST SW	ROANOKE	VA	24011
143-3-19	RALSTON, ROSE	232 ELM ST	SALEM	VA	24153
143-4-1	SAVORY VENTURES SALEM LLC	7000 WAYLAND DR	WARRENTON	VA	20187-4401

143-5-10	REIMAN, SEAN R	242 ELM ST	SALEM	VA	24153
143-5-11	BIRLS LLC	874 HUTSON RD	DRY FORK	VA	24549
143-5-12	BIRLS LLC	874 HUTSON RD	DRY FORK	VA	24549
143-5-16	LAPRAD PATRICIA O	325 MCCLELLAND ST	SALEM	VA	24153
143-5-17	WEBB, JEFFREY A	319 MCCLELLAND ST	SALEM	VA	24153
143-5-18	HART JAMES G	504 HIGH ST	SALEM	VA	24153
143-5-19	RIVERROCK PROPERTIES LLC	433 SMALLEY LN	KINGSTON	TN	37763-6114
143-5-6	RALSTON, ROSE MARIE F	232 ELM ST	SALEM	VA	24153
143-5-8	VOLDAHL, EMILY	238 ELM ST	SALEM	VA	24153
143-5-9	RAHMOELLER, KATHERINE ANNE	240 ELM ST	SALEM	VA	24153
162-1-2	JENETH INVESTMENTS LLC	5828 CASTLEROCK RD	ROANOKE	VA	24018
162-1-3	BLAKE'S RENTALS LLC	270 HYDE PARK RD	WINFIELD	WV	25213
162-1-4	HYLTON NELSON R-TRUSTEE OF NELSON R HYLTON REV TRU	594 ROANOKE ST	SALEM	VA	24153
162-1-6	ABNA LLC	1392 TEXAS ST	SALEM	VA	24153
162-3-2	MCGUIRE INVESTMENTS LLC	4915 INDIAN HEAD RD	SALEM	VA	24153

Signed

Max Dillon
Max Dillon

Date

6/26/26

City of Salem
 Commonwealth of Virginia

The foregoing instrument was acknowledged before me this 26th day of June, 2026, by

Tammy Dunn

Notary Public

My commission expires: 10/31/2028





City of Salem, VA

501 W 4th St



Date Created: 6/8/2026
Created By: anonymous

1 inch = 148 feet

This map should be used for reference purposes only and should not be considered a legal document. While every effort has been made to ensure the accuracy of this product, the publisher accepts no responsibility for any errors or omissions nor for any loss or damage alleged to be suffered by anyone as a result of the publication of this map and the notations on it, or as a result of the use or misuse of the information provided herein.

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Item #: 4.C.

AT A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF
SALEM, VIRGINIA HELD AT CITY HALL

MEETING DATE: July 15, 2026

AGENDA ITEM: **Special Exception Permit and Use Not Provided For Permit**

Hold public hearing at the request of The Preston Place Preservation Foundation Inc., property owner, for a Special Exception Permit to allow an assembly hall, nonresidential uses in an accessory structure, & nonresidential uses out of doors, and a Use Not Provided for Permit for outdoor gatherings of less than 500 people on the property located at 1936 West Main Street (Tax Map #138-2-7).

SUBMITTED BY: Mary Ellen Wines, Planning & Zoning Administrator, Maxwell Dillon, Planner

SUMMARY OF INFORMATION:

Zoning: CBD Community Business District

Land Use Plan Designation: Commercial

Existing Use: Vacant

Proposed Use: Mixed-Use

The subject property (1936 West Main Street) consists of a 9.398-acre tract of land which currently sits within the CBD Community Business District zoning designation. The Preston Place Preservation Foundation Inc, now the owner and operator of the property, seeks to incorporate a variety of different uses on the property over time – museum exhibits for rotating displays, a City information center, an assembly hall, and outdoor gatherings. Additionally, a live-in caretaker will oversee and manage the property. As is the case with any zoning district, the CBD Community Business District allows a number of uses by-right and others by Special Exception Permit. In this case, the applicant is requesting a Special Exception Permit for several planned uses, and a Use Not Provided For Permit to accommodate gatherings not necessarily defined by the zoning ordinance.

The museum exhibit portion of the operation is classified as a cultural service, and the live-in caretaker renders the parcel mixed-use –both of those activities are allowed by-

right. That said, the mixed-use element in the CBD zoning district triggers additional Use and Design Standards which require a Special Exception Permit be granted for non-residential uses in accessory structures (e.g. a City information center) and non-residential uses out of doors (e.g. fundraising events, music events, etc.). Further, an assembly hall, potentially constructed at a later date to accommodate various public and private events, requires a Special Exception Permit. Lastly, because the zoning ordinance only provides for outdoor assemblies of 500 or more people, a Use Not Provided For permit to allow outdoor gatherings of less than 500 people is required. See table below for a summation of requests are the methods of allowance.

Summary of Requests	
Proposed Use	Method of Allowance
Cultural Service (museum exhibits)	By-right
Mixed Use (live-in caretaker)	By-right – additional Use and Design Standards
Non-Residential use in accessory structure(s)	Special Exception Permit
Non-Residential uses outdoors	Special Exception Permit
Assembly Hall	Special Exception Permit
Outdoor gatherings of less than 500 people	Use Not Provided For Permit

While a definitive plan for the exact combination of uses for the parcel and sequence of development is not yet crystallized, the ultimate goal for this project is to attract visitors and residents alike to the property for both regular activities (e.g. rotating museum exhibits) and special events (i.e. weddings, music events, fundraisers, etc.). As a result, access to the property, along with parking for guests, is of paramount consideration. A 2017 site plan indicates that there are 19 existing parking spaces (including a handicap space), though a recent site inspection indicates that a few of those spaces have since been dedicated for a fire lane. In 2019, a site plan to construct 14 additional spaces on the eastern portion of the property was approved, though that plan will have to move back through the review process since its mandated 5-year approval period has expired. If re-approved in its current form, the property would contain approximately 30 total off-street parking spaces which is enough to accommodate guests for standard operations, though insufficient to park guests for a special event (e.g. a wedding with a significant number of guests). Because of this constraint, the applicant should demonstrate a detailed plan for accommodating scenarios comprising a large guest attendance.

The site will be subject to site plan requirements to ensure that relevant construction standards (including, but not limited to paving, landscaping, and stormwater management - if applicable) are satisfied prior to development of any kind.

FISCAL IMPACT:**STAFF RECOMMENDATION:**

Staff recommends approval of this request, with the following conditions:

1. An updated site plan be submitted for review illustrating both the existing parking lot configuration, along with the proposed parking lot addition. Any future development on-site will require additional site plan amendment submissions.
2. Maintenance of existing brown stone be performed to remove grass/weed growth. Maintenance of existing and proposed parking surfaces should be performed regularly to preserve the approved brown stone surface (not substituted with regular gravel) and to prevent future deterioration.
3. As standard parking minimums and maximums are not applicable for a Use Not Provided For Permit, a Parking Overflow and Traffic Management Plan, along with any supporting documentation (property owner permission/agreements), must be submitted to and approved by the City detailing the method in which overflow parking will be managed prior to the operation of any special event.

ATTACHMENTS:

1. 1936 West Main Street SEP & Use Not Provided For application
2. Email description of potential activities
3. Currently Approved Site Plan
4. Proposed Site Plan - Parking Lot Expansion
5. Affidavit
6. 1936 West Main Street neighbor notification map



Application Data for Application Number: Z26-30094

Application Type	Zoning		
Application Sub-Type	Special Exception		
Applicant	Preston Place		
Location	1936 W MAIN ST SALEM VA 24153		
Applicant Address	P. O. Box 235	Property Owner	THE PRESTON PLACE PRESERVATION FOUNDATION INC
	Salem,VA,24153	Owner Address	212 N BROAD ST
Tax Parcel	138-2-7		SALEM, VA,24153

Application Information

Section	Question	Answer
Details and Scope of Work	Please provide a detailed description of the work associated with this application.	We are requesting a Special Exception Permit for Outdoor Gatherings (public and private) such as weddings, fundraisers, music festivals, croquet tournaments, graduation parties, educational workshops, garden tours & lawn events, auctions/market vendors, volunteer appreciation cookout, information center, food trucks. In addition, a Special Exception Permit for Mixed Use Structure for a live-in occupancy in 1 bedroom on 2nd floor for on-site security.
Existing Structure Info	Year Built	
	Property Description	Vacant W/Outbuildings
	Number of Stories	
	Number of Rooms	
	Number of Bedrooms	
	Number of Bathrooms	
	Type of Roof	
	Type of Exterior	
	Type of Basement	
	Finished Square footage of Primary Building	0.00
Parcel Information	Lot Size Acres	9.40
	Lot Size SQFT	409377.00
	Zoning Classification	CBD
	Legal Description	TR 3A 9.331 AC SALEM HISTORICAL SOCIETY
	PID	1817
Special Exception Details	Please advise Current Zoning type	CBD - Community Business District
	Please advise current use	vacant
	Please advise future use	Outdoor events, info center, live-in

SALEM VA

COMMUNITY DEVELOPMENT

Special Exception Details	Please advise designation from the future land use map	Commercial
	Is the building or parcel in a district currently designated as historic	Yes
	If yes, describe the proposed measures for meeting the standards of the Department of Historic Resources	We are in constant contact with DHR in meeting the standards for historic resources for the building and grounds.
	This Special Exception/Use Not Provided For is being requested in order to?	To operate a non-profit for the various uses described above and residence for caretaker to live-in year round.
	Describe in detail how you plan to develop the property for the proposed use and any associated uses	In keeping with historic requirements, yards, buildings, and entire property will be maintained to required standards. Additional parking is planned and already approved. Outdoor uses would include rental equipment such as tents, chairs and tables. Additional landscaping. Fencing along perimeter of property may be installed to prevent trespass and debris from neighboring businesses and Main Street.
	Describe why the proposed use or exception is desirable and appropriate for the area	Preservation of the oldest home in Salem has shown support from local citizens for many years. The addition of usable greenspace and gardens for private and public events will supplement the offerings of Salem and enhance West Main Street and provide environmental stewardship for the future.
	What measures will be taken to assure that the proposed use or exception will not have a negative impact on the surrounding vicinity?	Currently surrounded by a commercial district, no negative impact can be foreseen to affect the area. In contrast, Preston Place outdoor events will promote the patronizing of local gas stations, restaurants and retail stores with the attendance that is drawn to public and private gatherings. This venue will create a positive impact to the area and community in demonstrating our commitment to the preservation of history, bringing tourism and revenue.
	Is the subject property located within the Floodplain District?	Yes
	If yes, describe the proposed measures for meeting the standards of the Floodplain Ordinance	Any future development will meet the requirements of the Floodplain Ordinance.
	Have you provided a conceptual plan of the proposed development, including general lot configurations and road locations?	No
Are the proposed lot sizes compatible with existing parcel sizes in the area?	N/A	

From: [Maxwell S Dillon](#)
To: [Mary Ellen H Wines](#)
Subject: FW: [Ext.] Re: Preston Place Special Exception Permit
Date: Friday, May 29, 2026 10:40:30 AM
Attachments: [image001.png](#)

FYI.

Max Dillon, CZA
Planner II
21 South Bruffey Street
Salem, VA 24153



From: Preston Place <prestonplace1821@gmail.com>
Sent: Friday, May 29, 2026 8:24 AM
To: Maxwell S Dillon <msdillon@salemva.gov>
Subject: [Ext.] Re: Preston Place Special Exception Permit

CAUTION: This message has originated from an external source. Please use proper judgment and caution when opening attachments, clicking links or responding to this email.

Max,
The \$500 fee was paid in full today.

To answer your question for additional information, we plan:

Weddings	8 per year
Music venues	6 per year
Antiques, art, pottery & craft shows	3 per year
Croquet/frisbee golf tournaments	2 per year
Flea Mkt - Fund raisers	2 per year
Educational workshops	4 per year (garden, birding, environmental, history, nature etc)

Maximum attendance is 125 people per event with current parking requirements.

If you need additional information, please let us know,
Karita Knisely

On Wed, May 20, 2026 at 1:31 PM Maxwell S Dillon <msdillon@salemva.gov> wrote:

Good morning,

We have received the Preston Place Special Exception Permit application, and I believe the \$500 application fee should be available to be paid in the Cityworks portal.

The information provided on the application is very helpful. At your convenience, please provide a description of the intended frequency and maximum capacity of outdoor events planned. We may need some additional information throughout the process, but that will help us move forward.

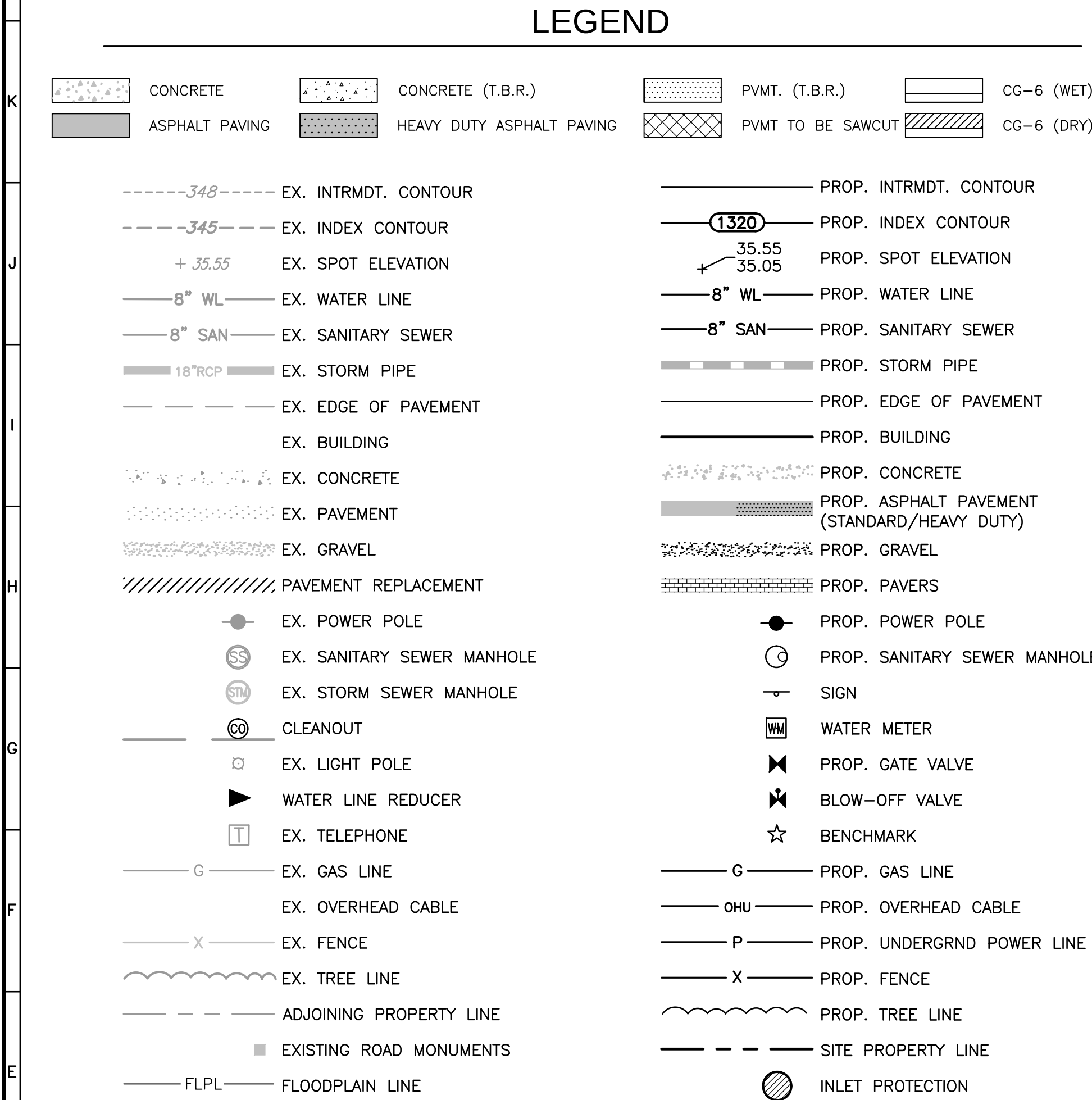
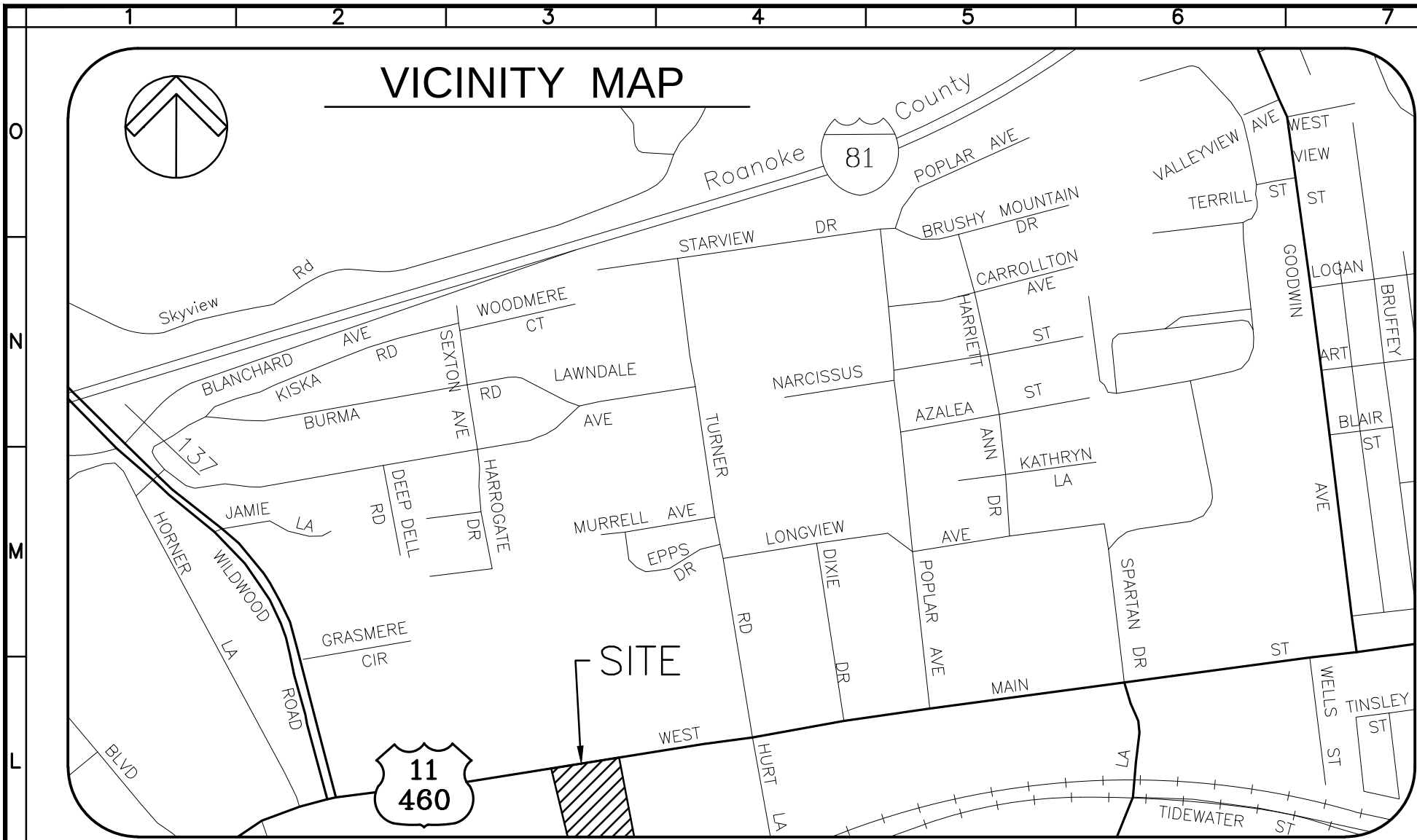
If you have any questions, please let me know.

Best,

Max Dillon, CZA
Planner II
21 South Bruffey Street
Salem, VA 24153



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ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EW	ENDWALL	RR	RAILROAD
APPROX	APPROXIMATE	EXIST	EXISTING	RR	REAR YARD SETBACK
ASPH	ASPHALT	FDN	FOUNDATION	RS	SANITARY
BC	BOTTOM OF CURB	FF	FINISHED FLOOR	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	GBE	GRADE BREAK ELEVATION	SD	STORM DRAIN
BLDG	BUILDING	GBS	GRADE BREAK STATION	SECT	SECTION
BLK	BLOCK	HOA	HOMEOWNERS ASSOCIATION	SE	SLOPE EASEMENT
BM	BENCHMARK	HPT	HIGH POINT	SS	SANITARY SEWER
BVCE	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE ELEV.	INTX	INTERSECTION	STA	STATION
BW	BOTTOM OF WALL	INV	INVERT	STD	STANDARD
CB	CINDER BLOCK	IP	IRON PIN	STO	STORAGE
C&G	CURB & GUTTER	LT	LEFT	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LVC	LENGTH OF VERTICAL CURVE	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	MH	MANHOLE	TBR	TO BE REMOVED
COR	CORNER	MIN	MINIMUM	TC	TOP OF CURB
DBL	DOUBLE	MBL	MINIMUM BUILDING LINE	TEL	TELEPHONE
DEFL	DEFLECTION	MON	MONUMENT	TRANS	TRANSFORMER
DI	DROP INLET	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DIA	DIAMETER	NBD	NORTH BOUND LANE	TYP	TYPICAL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VERT	VERTICAL
ELEV	ELEVATION	PVMT	PAVEMENT	VSD	VERTICAL SIGHT DISTANCE
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE STA.	R.O.W.	RIGHT OF WAY		
EVCS	END VERT. CURVE ELEV.	REQD	REQUIRED		
		RR	RAILROAD		

PRESTON PLACE

1936 WEST MAIN STREET

SHEET INDEX

C1	COVER SHEET
C2	NOTES & DETAILS
C3	EX. CONDITIONS & LAYOUT PLAN
C4	GRADING & E.S.C. PLAN
C5	E.S.C. NOTES & DETAILS

GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF SALEM AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF SALEM ENGINEERING DEPARTMENT AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
- DEMOLITION OF EXISTING STRUCTURES.
- SUBGRADE EXCAVATION.
- INSTALLING STORM SEWERS OR CULVERTS.
- PLACING GRAVEL BASE.
- PLACING ANY ROADWAY SURFACE/CURBING

A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH THE CITY OF SALEM ENGINEERING DEPARTMENT, TO BE HELD AT LEAST ONE DAY PRIOR TO ANY CONSTRUCTION.

AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

THE CONTRACTOR SHALL VERIFY BUILDING SIZE WITH THE ARCHITECTURAL PLANS DURING CONSTRUCTION FOR THE STRUCTURAL FOOTING LOCATIONS, ANY BUILDING OVERHANGS, ETC. THE CONTRACTOR SHALL ALSO REFER TO THESE DRAWINGS FOR THE EXACT UTILITY CONNECTION LOCATIONS AND SIZING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR THE ARCHITECT OF ANY DISCREPANCIES THAT WILL CAUSE A CONSTRUCTION CONFLICT.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE THAT STREETS ARE IN A CLEAN, MUD AND DUST-FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AS SHOWN BY AVAILABLE RECORDS, AND AS LOCATED BY THE UTILITY LOCATOR SERVICE. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

ALL STORM DRAINAGE, SANITARY SEWER AND UNDERGROUND FUEL PIPING SHALL HAVE RIGHT-OF-WAY OVER ALL ELECTRICAL, GAS, IRRIGATION, TELEPHONE, AND CABLE TELEVISION AND WATERLINE WORK.

ALL PAVING AND CURBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

ALL STORM DRAIN CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

ALL PARKING LOT STRIPING SHALL BE WHITE STANDARD TRAFFIC PAINT FOUR INCHES (4") WIDE UNLESS OTHERWISE NOTED.

THE EXISTING CURB AND GUTTER, PAVEMENT, AND OTHER PHYSICAL FEATURES THAT REQUIRE DEMOLITION SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SALEM. THE CONTRACTOR SHALL SAW CUT ALL EXISTING FEATURES THAT ARE TO BE DEMOLISHED AND WHERE NEW CONSTRUCTION JOINS THE EXISTING.

ALL NEW SIGNAGE ERECTED ON-SITE SHALL BE IN CONFORMANCE WITH THE CITY OF SALEM SIGN ORDINANCE. A PERMIT WILL BE REQUIRED FROM THE BUILDING INSPECTOR'S OFFICE.

THE CONSTRUCTION OF THE ON-SITE WATER AND SANITARY SEWER LATERALS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST WESTERN VIRGINIA REGIONAL DESIGN AND CONSTRUCTION STANDARDS AND THE VIRGINIA BOCA CODE, LATEST EDITION.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

I, _____, HAVE BEEN INFORMED BY THE CITY OF SALEM ENGINEERING DEPARTMENT THAT I WILL BE RESPONSIBLE FOR OBTAINING THE PROPER PERMITS FOR THIS PROJECT FROM THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY.

SIGNATURE DATE

SITE INFORMATION:

OWNER:	SALEM HISTORICAL SOCIETY 801 EAST MAIN STREET SALEM, VA 24153
TAX PARCEL NO.:	138-2-7
PROPOSED USE:	RESTAURANT, GENERAL
ZONING:	HBD - HIGHWAY BUSINESS DISTRICT W/CONDITIONS
SITE AREA:	9.331 ACRES
DISTURBED AREA:	0.27 ACRES
WATER/SEWER:	EXISTING SERVICES
BUILDING AREA/NO. OF STORIES:	EXISTING BUILDING
MINIMUM PARKING REQUIRED:	1 SPACE/4 SEATS PLUS 1 SEAT PER EMPLOYEE ON SHIFT 64 SEATS PLUS 3 EMPLOYEES 64/4 + 3 = 19 19 PARKING SPACES REQUIRED
MAXIMUM PARKING ALLOWED:	NO MAX FOR PROPOSED USE
PARKING PROVIDED:	19 SPACES (INCLUDING 1 HANDICAPPED SPACES)
PARKING SURFACE PROVIDED:	GRAVEL PER ZONING ORDINANCE 106.404.11(B)
SETBACKS:	FRONT: 55' MINIMUM FROM CENTERLINE OF ROAD SIDE: 0' REAR: 0'
MINIMUM FRONTAGE REQUIRED/PROVIDED:	60'/EXISTING 303.17'
MAXIMUM BUILDING HEIGHT ALLOWED/PROPOSED:	80'/EXISTING BLDG.



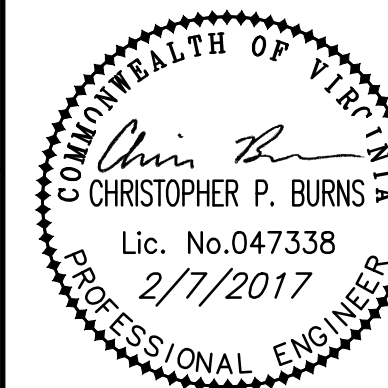
Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LANDSCAPE ARCHITECTURE
LAND SURVEYING
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.

1208 Corporate Circle
Roanoke, VA 24018

540-772-9580
FAX 540-772-8050



PRESTON PLACE
1936 WEST MAIN STREET

COVER SHEET

CITY OF SALEM, VIRGINIA

DRAWN BY	BTC
DESIGNED BY	BTC
CHECKED BY	CPB
DATE	12/23/2016
SCALE	N/A

REVISIONS:
1/25/2017
2/7/2017

SHEET NO.

C1

JOB NO. 04160090.00

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF SALEM.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
3. EXISTING PAVEMENT TO BE SAWCUT AT LEAST 1' FROM THE EX. EDGE OF PAVEMENT OR THE DISTANCE REQUIRED TO REACH THE FULL DEPTH OF PAVEMENT.
4. A SIGN PERMIT MUST BE OBTAINED FOR EXISTING AND PROPOSED SIGNAGE FROM CITY OF SALEM PRIOR TO THE INSTALLATION OF ANY SIGNAGE ONSITE. NOTE THAT NO SIGN SHALL EXCEED 25' IN HEIGHT IN THE HBD - HIGHWAY BUSINESS DISTRICT AND MUST BE SETBACK A MINIMUM OF 10' FROM THE PUBLIC RIGHT-OF-WAY.
5. ANY EXTERIOR LIGHTING FIXTURES SHALL BE DESIGNED, LOCATED, AND ARRANGED SO AS NOT TO DIRECT GLARE ON ADJOINING STREETS OR RESIDENTIAL PROPERTIES.
6. ALL STANDARD PARKING LOT STRIPING SHALL BE PAINTED WITH 4" WHITE COMMERCIAL TRAFFIC PAINT. HANDICAP SPACES SHALL BE PAINTED WITH 4" BLUE COMMERCIAL TRAFFIC PAINT. A MINIMUM OF 2 COATS SHALL BE APPLIED TO ALL STRIPING.
7. COORDINATE ELECTRICAL SERVICE WITH KARL MASON WITH THE CITY OF SALEM ELECTRIC DEPARTMENT.
(540) 375-3030

RIGHT OF WAY LANDSCAPING:
106-402.7

1 DEC. TREE PER 320 S.F. OF LANDSCAPE AREA
(280 +/- S.F.)
REQUIRED: 2 TREES
PROVIDED: 2 TREES

1 DEC. TREE PER 160 S.F. OF LANDSCAPE AREA
(1,976 S.F.)
REQUIRED: 13 TREES
PROVIDED: 19 TREES

1 DEC. TREE PER 160 S.F. OF LANDSCAPE AREA
(1,440 S.F.)
REQUIRED: 9 TREES
PROVIDED: 3 EX. TREES TO REMAIN AND COUNT AS 9
(EX. ELM A, WHITE PINE, & BLACK WALNUT A)

N/A – EXISTING GARAGE BUILDING & FORESTED AREA

(106-402-7(A)(1)
1 TREE PER 10 PARKING SPACES
(20 PARKING SPACES SHOWN)

REQUIRED: 2 TREES
PROVIDED: 1 EXISTING TREE TO REMAIN AND COUNT AS 2
(EXISTING MAPLE TREE)

REQUIRED: 5 TREES
PROVIDED: 2 EXISTING LARGE SHADE TREES IN LEIU OF
PLANTING 5 NEW TREES
(EXISTING ELM B & EXISTING HICKORY - WITHIN FENCED
AREA TO SOUTHEAST OF HOUSE)

REQUIRED: 3 TREES
PROVIDED: 2 EXISTING TREES TO REMAIN
(EXISTING CHESNUT & CRAPEMYRTLE)
1 ADDITIONAL CRAPE MYRTLE TO BE PLANTED DUE
TO OVERHEAD UTILITY LINES.



1. 6" STONE BASE MUST BE PLACED IN TWO LIFTS OF NO MORE THAN 4" EACH.
2. A TACK COAT SHALL BE APPLIED BETWEEN ASPHALT PAVEMENT LAYERS
3. G.C. TO ENSURE A MINIMUM OF 95% COMPACTION OF THE SUBGRADE PRIOR TO STONE/ASPHALT PLACEMENT.

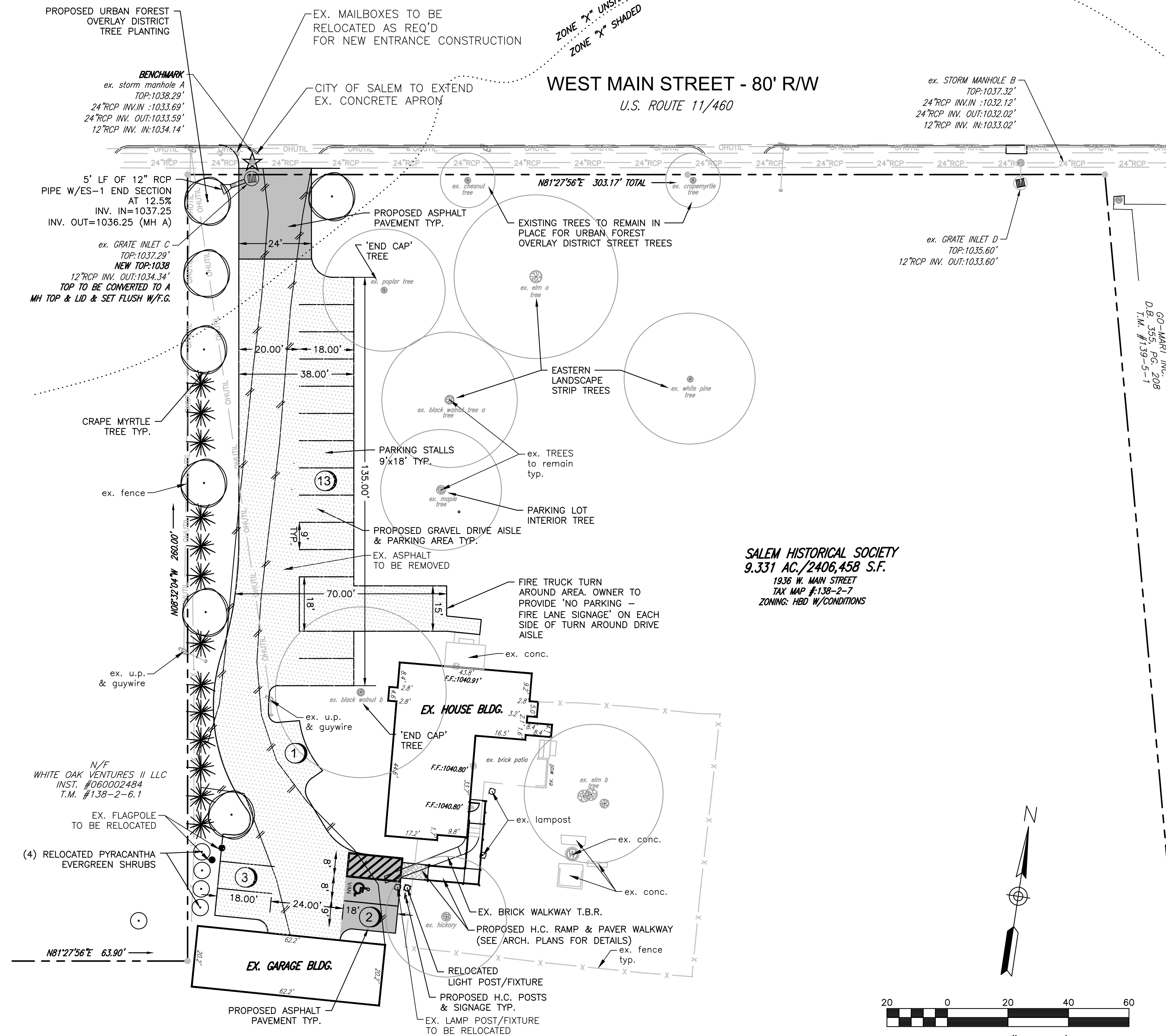
NO SCALE

HANDICAP SIGN NOTES:

1. THE PROPOSED SIGNAGE SHALL BE INSTALLED PER ADA STANDARDS.
2. ALL SIGNS SHALL BE REFLECTORIZED
3. ALL SIGNS SHALL BE SECURELY MOUNTED TO A POST, BOLLARD, OR BUILDING.
4. ALL HANDICAP PARKING SPACE SIGNS SHALL HAVE THE BOTTOM EDGE OF THE SIGN NO LOWER THAN FOUR FEET NOR HIGHER THAN SEVEN FEET ABOVE THE PARKING SURFACE.

1. ALL LETTERS ARE 1" SERIES 'C' PER 2003 MUTCD.
2. TOP PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
3. BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
4. FINE NOTIFICATION SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
5. ONE (1) SIGN REQUIRED FOR EACH ACCESSIBLE PARKING SPACE.
6. INSTALLED HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. (MUTCD)
7. SIGN MAY BE MOUNTED ON BUILDING/WALL, AT PROPER HEIGHT, IF ALIGNED WITHIN 12" OF CENTER OF PARKING SPACE.

SYMBOL	BOTANICAL NAME:	COMMON NAME:	PLANTING SPECS:	TOTAL QUANTITY
	LAGERSTROEMIA X NATCHEZ	"NATCHEZ" CRAPFMYRTLE	MIN. PLANTING HEIGHT 5'	7
	THUJA X 'GIGANTEOIDES'	GREEN GIANT ARBOVITAE	MIN. PLANTING HEIGHT 5'	13



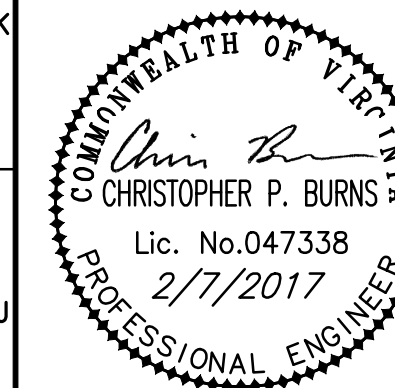
SALEM HISTORICAL SOCIETY
9.331 AC./2406,458 S.F.
 1936 W. MAIN STREET
 TAX MAP #:138-2-7
 ZONING: HBD W/CONDITIONS

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Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



PRESTON PLACE
1936 WEST MAIN STREET

EXISTING CONDITIONS & LAYOUT PLAN

CITY OF SALEM, VIRGINIA

DRAWN BY BTC
DESIGNED BY BTC
CHECKED BY CPB
DATE 12/23/2016
SCALE 1"=20'
REVISIONS:
1/25/2017
2/7/2017

SHEET NO.

C3

JOB NO. 04160090.00

EROSION & SEDIMENT CONTROL LEGEND:

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	3.31	TEMPORARY SEEDING	TS
3.05	SILT FENCE	SF	3.32	PERMANENT SEEDING	PS
3.07	STORM DRAIN INLET PROTECTION	IP	3.35	MULCHING	MU

CONSTRUCTION SEQUENCING NOTES:

1. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS A FIRST STEP. THE EXISTING ASPHALT AND GRAVEL BASE SHALL BE UTILIZED TO THE MAXIMUM EXTENT POSSIBLE TO MINIMIZE ANY POTENTIAL FOR EROSION ON-SITE. THE EXISTING GRAVEL SHALL SERVE AS THE CONSTRUCTION ENTRANCE.
2. SILT FENCE TO BE INSTALLED AS SHOWN. THE SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE R.L.D. ASSIGNED TO THE PROJECT SHALL ENSURE ALL REGULATIONS ARE FOLLOWED AND DOCUMENTED THROUGHOUT THE ENTIRE PROJECT TO PREVENT THE EXCESSIVE BUILD-UP OF SEDIMENT.
3. INLET PROTECTION SHALL BE PROVIDED FOR THE EXISTING STORMWATER INLET.
4. SITE DEMOLITION OPERATIONS SHALL TAKE PLACE AT THIS TIME AFTER ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
5. G.C. SHALL PAY SPECIAL ATTENTION TO ENSURE SEDIMENT LADEN RUNOFF IS NOT DIRECTED TOWARDS THE ADJACENT PUBLIC RIGHT OF WAY AND THERE SHALL BE NO MUD 'TRACKING' FROM THE SITE INTO THE PUBLIC RIGHT OF WAY.
6. GRADING OPERATIONS SHALL TAKE PLACE AT THIS TIME.
7. TEMPORARY SEEDING SHALL BE PROVIDED WITHIN 7 DAYS FOR ALL AREAS THAT WILL NOT RECEIVE PAVEMENT OR OTHER PERMANENT IMPROVEMENTS WITHIN 14 DAYS.
8. G.C. SHALL PAY SPECIAL ATTENTION DURING THE CONSTRUCTION OF THE PARKING AREAS & DRIVE AISLES ALONG WEST MAIN STREET TO ENSURE NO SEDIMENT OR SEDIMENT LADEN RUNOFF IS TRANSPORTED DOWNSTREAM ALONG THE PAVEMENT, CURB & GUTTER, OR WITHIN THE STORM SEWER SYSTEM.
9. PAVEMENT AND LANDSCAPING SHALL BE INSTALLED AT THIS TIME.
10. AFTER FINAL SITE STABILIZATION AND AT VARIOUS CONSTRUCTION STAGES OF THE PROJECT AND CITY OF SALEM APPROVAL, INLET PROTECTION, SILT FENCE, AND THE CONSTRUCTION ENTRANCE CAN BE REMOVED.
11. G.C. SHALL ENSURE THAT THE LIMITS OF DISTURBANCE ARE STRICTLY ADHERED TO DURING THE PROJECT.
12. NO DEVIATIONS TO THE PLANS SHALL TAKE PLACE UNLESS PRIOR APPROVAL FROM THE OWNER, PROJECT ENGINEER, AND THE APPROPRIATE REVIEW AGENCIES.

*NOTE: CITY OF SALEM INSPECTION AND APPROVAL IS REQUIRED PRIOR TO THE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

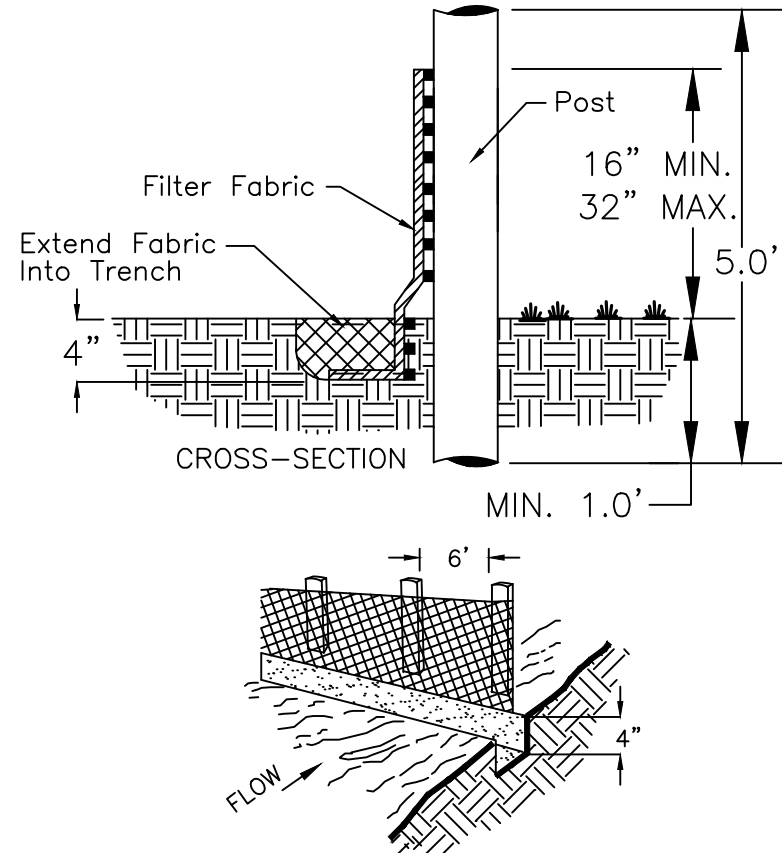
GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION & SEDIMENT CONTROL MEASURES SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
2. THE APPROVING AUTHORITY MAY ADD TO, DELETE, RELOCATE, CHANGE, OR OTHERWISE MODIFY CERTAIN EROSION AND SEDIMENT CONTROL MEASURES WHERE FIELD CONDITIONS ARE ENCOUNTERED THAT WARRANT SUCH MODIFICATIONS.
3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN SHALL BE PLACED IN ADVANCE OF THE WORK BEING PERFORMED, AS FAR AS PRACTICAL.
4. IN NO CASE DURING CONSTRUCTION SHALL WATER RUNOFF BE DIVERTED OR ALLOWED TO FLOW TO LOCATIONS WHERE ADEQUATE PROTECTION HAS NOT BEEN PROVIDED.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LEAVE THE SITE ADEQUATELY PROTECTED AGAINST EROSION, SEDIMENTATION, OR ANY DAMAGE TO ANY ADJACENT PROPERTY AT THE END OF EACH DAY'S WORK.
6. FOR THE EROSION CONTROL KEY SYMBOLS SHOWN ON THE PLANS, REFER TO THE VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THESE SYMBOLS AND KEYS ARE TO BE UTILIZED ON ALL EROSION CONTROL PLANS SUBMITTED TO ROANOKE COUNTY.
7. THE LOCATION OF ALL OFF-SITE FILL OR BORROW AREAS ASSOCIATED WITH THE CONSTRUCTION PROJECT WILL BE PROVIDED TO ROANOKE COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT. AN EROSION CONTROL PLAN OR MEASURES MAY BE REQUIRED FOR THIS AREA.
8. THIS SHEET MAY NOT BE MODIFIED EXCEPT FOR TABLES

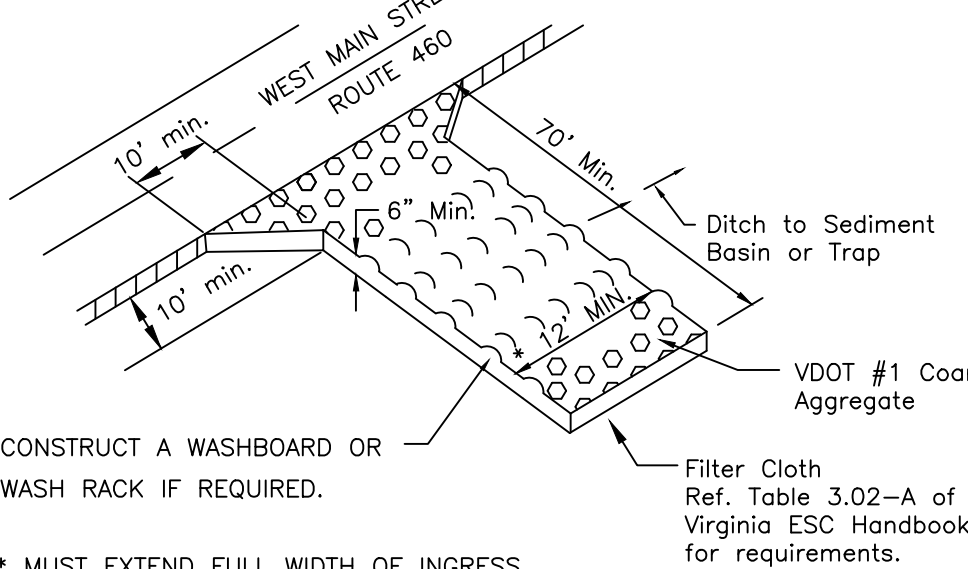
TOTAL DISTURBED AREA = 0.27 AC. = 11,761 SQ. FT.

GENERAL GRADING NOTES:

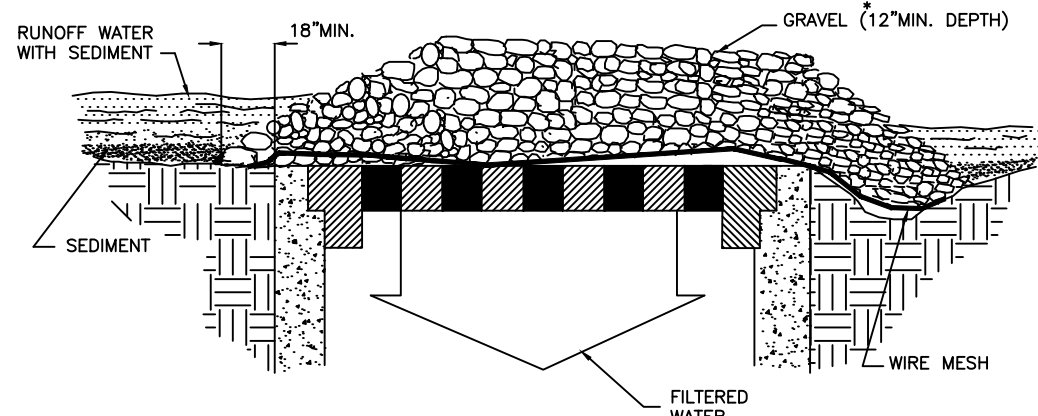
1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND THE CITY OF SALEM.
2. ANY NEW ALIGNMENTS, CHANGES IN GRADES, ALTERNATIVE PIPE SIZE OR MANHOLES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER.
3. G.C. SHALL ENSURE POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING.



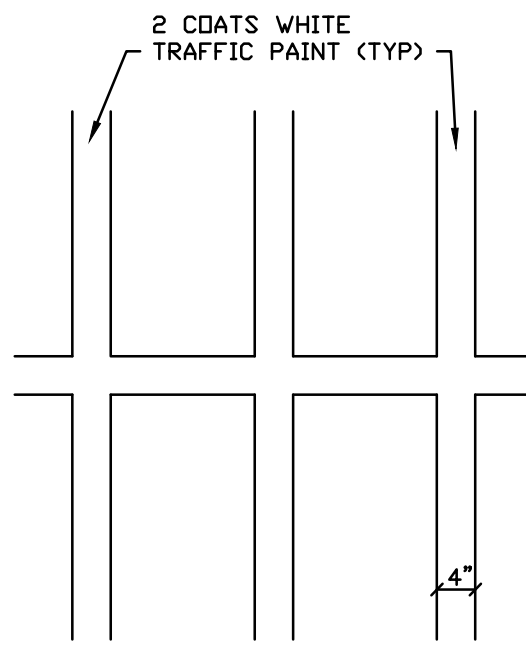
SF CONSTRUCTION OF A SILT FENCE
EROSION AND SEDIMENT CONTROL STANDARD - 3.05



CE TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

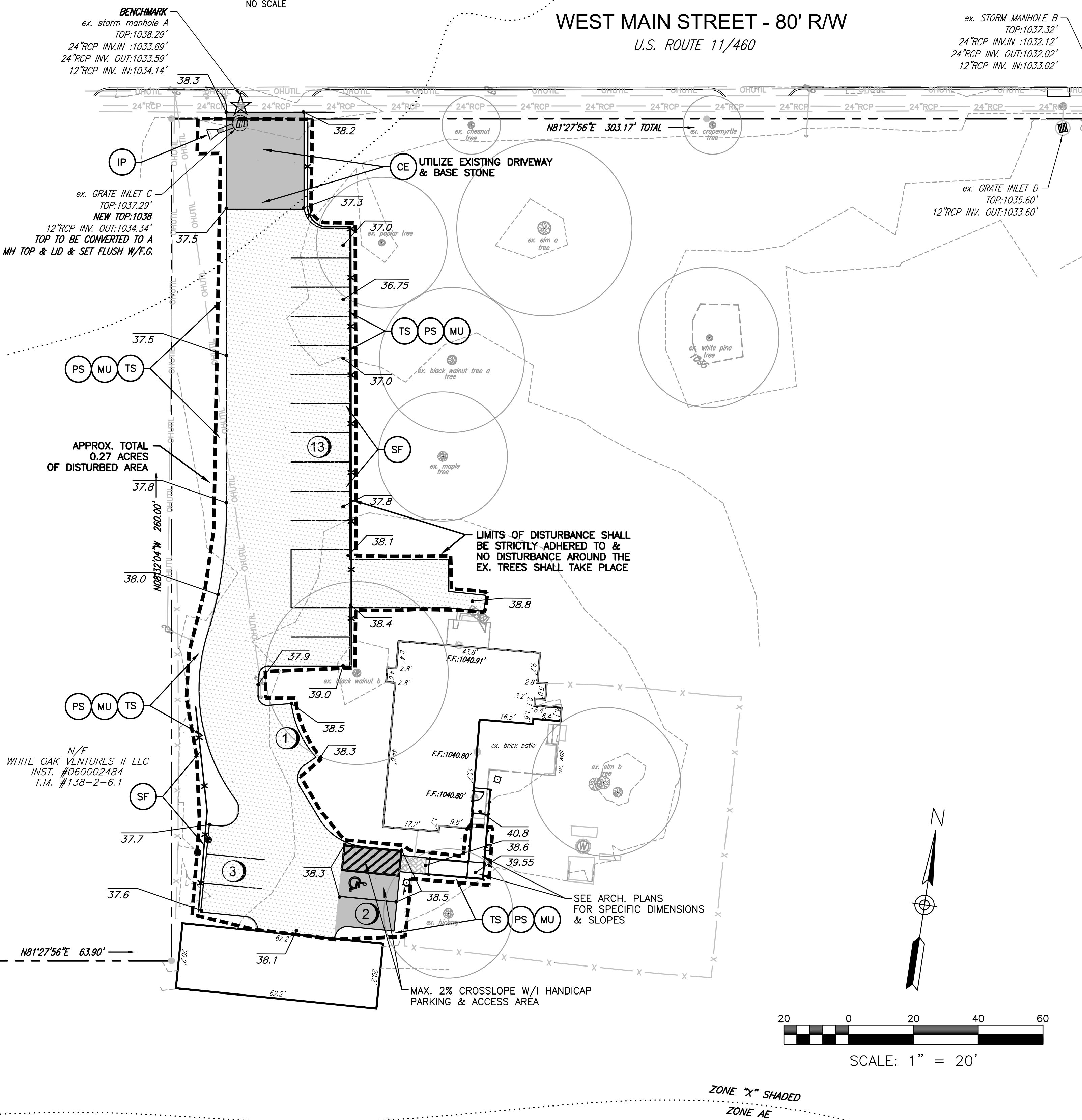


IP GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER



PAVEMENT STRIPING DETAIL

NO SCALE



EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS PROJECT IS FOR THE CONSTRUCTION OF A PARKING AREA AND ACCESS DRIVE TO SERVE THE EXISTING HISTORICAL BUILDING. MINIMAL GRADING WILL OCCUR WITH THE PROJECT AND ONLY THAT NECESSARY TO INSTALL THE PROPOSED PARKING SPACES. ACCESS TO THE SITE WILL BE FROM THE EXPANDED COMMERCIAL CONCRETE ENTRANCE. THE LIMITS OF DISTURBANCE ARE 0.27 AC AND THEREFORE A VSPM PERMIT IS NOT REQUIRED FOR THE PROJECT SINCE THE LIMITS OF DISTURBANCE ARE LESS THAN 1 ACRE.

EXISTING SITE CONDITIONS: THE EXISTING SITE CONTAINS A HISTORICAL BUILDING, GARAGE, DRIVEWAY, DRAINAGEWAY, AND MISCELLANEOUS LANDSCAPING. THE NORTHERN PORTION OF THE SITE INFILTRATES INTO THE SOIL AND THE SOUTHERN PORTION OF THE SITE FLOWS TO THE EXISTING DRAINAGEWAY.

ADJACENT PROPERTY: THE DEVELOPMENT AREA IS BOUNDED BY WEST MAIN STREET (RTE. 11/460) TO THE NORTH, AND COMMERCIAL PROPERTIES TO THE SOUTH, WEST, AND EAST.

OFF-SITE AREAS: ANY EXCESS MATERIAL WILL BE TRANSPORTED OFF-SITE TO AN APPROVED FILL LOCATION.

SOILS: THE "SOIL SURVEY OF ROANOKE COUNTY AND THE CITIES OF ROANOKE AND SALEM, VIRGINIA" AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE IDENTIFIES THE SITE AS 57A--WHEELING URBAN LAND COMPLEX ALONG WEST MAIN STREET AND 42A SINDIAON LOAM FOR THE REMAINING PORTION OF THE SITE.

CRITICAL EROSION AREAS: CRITICAL AREAS FOR THIS PROJECT INCLUDE THE RIGHT OF WAY OF WEST MAIN STREET.

EROSION AND SEDIMENT CONTROL MEASURES:

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION" (VESCCH). THE MINIMUM STANDARDS OF THE VESCCH SHALL BE ADHERED TO UNLESS OTHERWISE DIRECTED BY THE LOCAL PROGRAM ADMINISTRATOR.

STRUCTURAL -- CONSTRUCTION ENTRANCE--STD. 3.02.....A STONE PAD, LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS TO THE CONSTRUCTION SITE, TO REDUCE THE SOIL TRANSPORTED ONTO PUBLIC ROADS AND OTHER PAVED AREAS.

SILT FENCE--STD. 3.05.....A TEMPORARY BARRIER CONSTRUCTED ALONG THE PERIMETER OF THE DISTURBED AREA AS REQUIRED TO INTERCEPT AND DETAIN SEDIMENT.

INLET PROTECTION--STD. 3.07.....A SEDIMENT FILTER TO PREVENT SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED INTO AN INLET AND ASSOCIATED DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF A DISTURBED PROJECT AREA.

VEGETATIVE --

TEMPORARY SEEDING--STD. 3.31.....ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR PERIODS OF 30 DAYS TO 1-YEAR BY SEEDING WITH AN APPROPRIATE RAPIDLY GROWING SEED MIXTURE.

PERMANENT SEEDING--STD. 3.32.....ESTABLISHMENT OF A VEGETATIVE COVER BY PLANTING SEED ON ALL FINAL GRADED AREAS THAT WILL NOT RECEIVE AN IMPERVIOUS COVER OR RECEIVE TOPSOIL MATERIAL TO PROVIDE A STABILIZED SITE AFTER THE PROJECT IS COMPLETE.

MULCHING--3.35.....MULCH SHALL BE APPLIED TO ALL TEMPORARY AND PEMANENT SEEDING OPERATIONS TO PROMOTE THE GROWTH OF VEGETATION AND TO PROTECT THE SOIL SURFACE FROM RAINDROP IMPACTS.

MANAGEMENT STRATEGIES:

- A) CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
B) SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING.
C) THE LOCAL PROGRAM ADMINISTRATOR RESERVES THE RIGHT TO ADD TO, DELETE OR OTHERWISE CHANGE THE EROSION CONTROL MEASURES AS DEEMED NECESSARY DUE TO ACTUAL FIELD CONDITIONS BY WRITTEN NOTIFICATION TO THE CONTRACTOR.
D) ALL FILL AND CUT SLOPES SHALL BE SEEDDED WITHIN SEVEN (7) DAYS OF ACHIEVING FINAL GRADE.
E) ONLY AFTER INSPECTION AND APPROVAL FROM THE LOCAL PROGRAM ADMINISTRATOR MAY ITEMS BE REMOVED FOLLOWING THE STABILIZATION OF THE CONTRIBUTING AREAS.

INSPECTIONS:

THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND THE AREA OF CONSTRUCTION VEHICLE ACCESS AT LEAST EVERY FOURTEEN (14) CALENDAR DAYS, AND WITHIN 48 HOURS OF THE END OF A STORM EVENT PRODUCING 1/2" OR GREATER OF PRECIPITATION. WHERE AREAS HAVE BEEN FINALLY OR TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS) SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.
A) INSPECT DISTURBED AREAS AND AREAS OF MATERIALS STORAGE THAT ARE EXPOSED TO PRECIPITATION FOR EVIDENCE OF, OR THE POTENTIAL FOR SEDIMENT ENTERING THE STORM DRAIN SYSTEM. INSPECT E&S CONTROLS IN ACCORDANCE WITH REQUIREMENTS STATED HEREIN, AND INSPECT POINTS OF STORM DRAIN DISCHARGE FOR EXCESSIVE SEDIMENTATION, CORRECT SITE CONTROLS AS REQUIRED TO REDUCE SEDIMENTATION OF STORM DRAINS, CULVERTS, AND RECEIVING CHANNELS.
B) IF CONTROLS OR SEDIMENT PREVENTION AREAS ARE FOUND TO BE IN NEED OF REPAIR OR MODIFICATION, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES AS REQUIRED. ANY ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES SHALL BE RECORDED AS FIELD REVISIONS TO THESE PLANS. IN THE EVENT THAT ADDITIONAL CONTROLS ARE FOUND TO BE REQUIRED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE CONTROLS BEFORE THE NEXT ANTICIPATED STORM EVENT. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICAL, THEY SHALL BE IMPLEMENTED AS SOON AS PRACTICAL.
C) A REPORT SUMMARIZING THE SCOPE OF INSPECTIONS, NAME OF INSPECTOR, INSPECTOR'S QUALIFICATIONS, DATES OF INSPECTIONS, MAJOR OBSERVATIONS PERTAINING TO THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED AS A PART OF THESE PLANS. MAJOR OBSERVATIONS OF THESE REPORTS SHALL INCLUDE: THE LOCATIONS OF EXCESSIVE SEDIMENTATION FROM THE SITE; LOCATIONS OF CONTROLS IN NEED OF REPAIR; LOCATIONS OF FAILED OR INADEQUATE CONTROLS; AND LOCATIONS WHERE ADDITIONAL CONTROLS ARE NEEDED.

STORMWATER MANAGEMENT:

THIS PROJECT IS UTILIZING LOW IMPACT DEVELOPMENT TECHNIQUES FOR THIS HISTORICAL SITE BY UTILIZING GRAVEL ACCESS DRIVES AND PARKING SPACES FOR THE VAST MAJORITY OF THE PROJECT. THE POST DEVELOPMENT PEAK RUNOFF RATES ARE LESS THAN PRE-DEVELOPMENT PEAK RUNOFF RATES THEREFORE NO STORMWATER MANAGEMENT IS REQUIRED FOR THE PROJECT. THE SITE DISTURBANCE AREA IS LESS THAN 1 ACRE THEREFORE NO STORMWATER QUALITY MEASURES ARE REQUIRED FOR THE SITE.

MINIMUM STANDARDS

THE FOLLOWING STANDARDS ARE TO BE PROVIDED OR ADDRESSED ON EVERY DEVELOPMENT PROJECT EXCEEDING 5000 S.F. IN AREA OF DISTURBANCE THESE STANDARDS ARE CONSIDERED A MINIMUM AND MAY REQUIRE ADDITIONAL MEASURES AS DEEMED NECESSARY BY THE LOCAL APPROVING AUTHORITY OR THE CONSULTING ENGINEER.

No.	CRITERIA, TECHNIQUE OR METHOD	PRACTICES PROVIDED
1	PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FOURTEEN (14) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.	TS PS MU
2	DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.	SF TS PS MU
3	A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR DESIGNATED AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.	TS PS MU
4	SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.	NOT APPLICABLE
5	STABILIZATION METHODS SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.	TS PS MU
6	SEDIMENT TRAPS AND BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.	NOT APPLICABLE
7	CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.	TS PS MU
8	CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.	NOT APPLICABLE
9	WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.	SHOULD SEEPS OCCUR IN ANY EXISTING OR NEW CUT OR FILL SLOPE, THE CONTRACTOR SHALL FIRST ENSURE THAT THERE ARE NOT AREAS OF POOLED WATER AT THE TOPS OF THE SLOPES, AND THEN SHALL CONTACT BOTH THE DESIGN ENGINEER AND THE PROJECT GEOTECHNICAL ENGINEER FOR ON-SITE EVALUATION OF THE AREAS OF SEEPAGE.
10	ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.	IP
11	BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.	NOT APPLICABLE
12	WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.	NO DISTURBANCE OF SURFACE WATERS IS PROPOSED WITH THIS PROJECT.
13	WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX (6) MONTH PERIOD, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL.	
14	ALL APPLICABLE FEDERAL, STATE AND LOCAL CHAPTERS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET. THE BEDS AND BANKS OF ANY WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	
15	THE BEDS AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	
16	UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: 1)NO MORE THAN 500 LINEAR FEET OF ANY TRENCH MAY BE OPENED AT ONE TIME. 2)EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. 3)EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY. 4)MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. 5)RESTALLIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE CHAPTERS. 6)APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.	SF
17	WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.	CE
18	ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE VESCP AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.	TS PS MU
19	PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA. STREAM RESTORATION AND RELOCATION PROJECTS THAT INCORPORATE NATURAL CHANNEL DESIGN CONCEPTS ARE NOT MAN-MADE CHANNELS AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS. a. CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM. FOR THOSE SITES WHERE RUNOFF IS DISCHARGED INTO A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE PERFORMED. b. ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER: (1) THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN THE CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION OR (2) (a) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF THE TWO-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS; AND (b) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF THE 10-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS AND BY THE USE OF A 2-YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE EROSION OF CHANNEL BED OR BANKS; AND (c) PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE SYSTEM c. IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL: (1) IMPROVE THE CHANNEL TO A CONDITION WHERE A 10-YEAR STORM WILL NOT OVERTOP THE BANKS AND A 2-YEAR STORM WILL NOT CAUSE EROSION TO THE CHANNEL BED OR BANKS; OR (2) IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE 10-YEAR STORM IS CONTAINED WITHIN THE APPURTANCES; OR (3) DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A 10-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL; OR (4) PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION OR OTHER MEASURES WHICH IS SATISFACTORY TO THE VESCP AUTHORITY TO PREVENT DOWNSTREAM EROSION. d. THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS e. ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND THE ULTIMATE DEVELOPMENT CONDITION OF THE SUBJECT PROJECT. f. IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION, HE SHALL OBTAIN APPROVAL FROM THE VESCP OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON RESPONSIBLE FOR PERFORMING THE MAINTENANCE. g. OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL, AND ENERGY DISSIPATORS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PREVENT A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL. h. ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE. i. INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM, OR TO A DETENTION FACILITY. j. IN APPLYING THESE STORMWATER MANAGEMENT CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL DEVELOPMENT SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS. INSTEAD, THE DEVELOPMENT, AS A WHOLE, SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. HYDROLOGIC PARAMETERS THAT REFLECT THE ULTIMATE DEVELOPMENT CONDITION SHALL BE USED IN ALL ENGINEERING CALCULATIONS. k. ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALT BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS, STREAMS AND OTHER WATERS OF THE STATE. l. ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO (i) DETAIN THE WATER QUALITY VOLUME AND TO RELEASE IT OVER 48 HOURS, (ii) DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE YEAR, 24-HOUR STORM; AND (iii) REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5, 2, AND 10-YEAR, 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM SITE ASSUMING IT WAS IN A GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE WHEN IT WAS IN A GOOD FORESTED CONDITION DIVIDED BY THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS PROMULGATED PURSUANT TO 101-562 OR 101-570 OF THE ACT. FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF 101-561 A OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUANTITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (101-563.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND-DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VAC55-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSPM) PERMIT REGULATIONS. n. COMPLIANCE WITH THE WATER QUANTITY MINIMUM STANDARDS SET OUT IN 4VAC50-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSPM) PERMIT REGULATIONS SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19.	SEE SUPPLEMENTAL CALCULATIONS FOR FLOOD AND CHANNEL PROTECTION REQUIREMENTS FOR THE PROPOSED DEVELOPMENT.

TABLE 3.32-C PERMANENT SEEDING SPECIFICATIONS FOR APPALACHIAN/MOUNTAIN AREA (Revised June 2003)		
LAND USE	SEED ¹ SPECIES	APPLICATION RATES
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ¹	90-100%
	Perennial Ryegrass ²	0-10%
	Kentucky Bluegrass ³	0-10%
TOTAL: 200-250 lbs		
High-Maintenance Lawn	Minimum of three (3) up to five (5) varieties of Kentucky Bluegrass from approved list for use in Virginia ⁴	TOTAL: 125 lbs
General Slope (0.1 or less)	Tall Fescue ¹	128 lbs
	Red Top Grass or Creeping Red Fescue	2 lbs
	Seasonal Nurse Crop ⁵	20 lbs
TOTAL: 150 lbs		
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue ¹	108 lbs
	Red Top Grass or Creeping Red Fescue	2 lbs
	Seasonal Nurse Crop ⁵	20 lbs
TOTAL: 150 lbs		
1- When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at http://www.vcra.org/extension/extensioninfo/extensioninfo.html 2- Perennial Ryegrass will germinate faster and at lower soil temperatures than Tall Fescues, thereby providing cover and erosion resistance for seedbed. 3- Use seasonal nurse crop in accordance with seeding dates as stated below: March, April - May 15 th Annual Ryegrass May 16 th - August 15 th Foxtail Millet August 16 th - September, October Annual Ryegrass November - February Winter Ryegrass 4 - All legume seed must be properly inoculated. If Flapleaf is used, increase to 30 lbs/acre. If Weeping Lovegrass is used, include in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.		
FERTILIZER & LIME		
● Apply 10-20-10 fertilizer at a rate of 500 lbs. / acre (or 12 lbs. / 1,000 sq. ft.) ● Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site. - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by diskling or by other means. - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin # 4. 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/esw/e&s.html#pubs		

Erosion & Sediment Control Technical Bulletin No. 4
Nutrient Management for Development Sites

C. When applying maintenance fertilizer on established sod,

Pounds of nitrogen per 1,000 sq. ft. if the fertilizer is less than 50 percent WIN					
Type of Grass					
Month	Tall Fescue Perennial Ryegrass	Kentucky Bluegrass	Bermudagrass	Zoysiagrass	
September	1	1	0	0	
October	1	1	0	0	
Early November	0	0	0	0	
April	0	0	0	0	
May	0-0.5	0-0.05	1	1	
June	0	0	1	0	
July/August	0	0	0	1	
Yearly Lbs. N/1000 sf	2.5	2.5	2	2	
Pounds of nitrogen per 1,000 sq. ft. if the fertilizer is more than 50 percent WIN					
Type of Grass					
Month	Tall Fescue Perennial Ryegrass	Kentucky Bluegrass	Bermudagrass	Zoysiagrass	
August 15	1.5	1.5	0	0	
October 1	1.5	1.5	0	0	
April	0	0	1.5	1.5	
May 15	0	0	0	0	
June	0	0	1.5	1.5	
Yearly Lbs. N/1000 sf	3	3	3	3	

FERTILIZER SPECIFICATIONS AND
RATES FOR MANAGEMENT

TABLE 3.31-B TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS (Revised June 2003)		
APPLICATION DATES	SEED SPECIES	APPLICATION RATES
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (lolium multi-florum) & Cereal (Winter) Ryegrass (Secale cereale)	50 -100 (lbs/acre)
Feb. 16 - Apr. 30	Annual Ryegrass (lolium multi-florum)	60 - 100 (lbs/acre)
May 1 - Aug. 31	German Millet	50 (lbs/acre)
FERTILIZER & LIME		
● Apply 10-10-10 fertilizer at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.) ● Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: 1 - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site. 2 - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by diskling or by other means. 3 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin # 4. 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/esw/e&s.html#pubs		

TEMPORARY SEEDING
SPECIFICATIONS

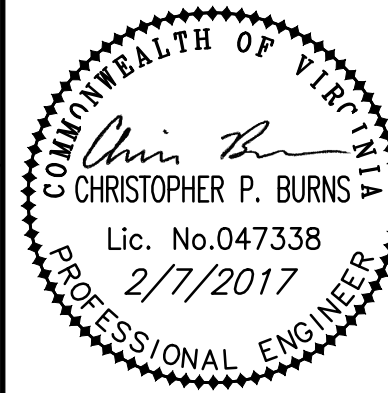


REFLECTING TOMORROW
www.balzer.cc

Roanoke
New River Valley
Richmond
Staunton
Harrisonburg

RESIDENTIAL LAND DEVELOPMENT ENGINEERING
SITE DEVELOPMENT ENGINEERING
LAND USE PLANNING & ZONING
LAND SURVEYING
LANDSCAPE ARCHITECTURE
ARCHITECTURE
STRUCTURAL ENGINEERING
TRANSPORTATION ENGINEERING
ENVIRONMENTAL & SOIL SCIENCE
WETLAND DELINEATIONS & STREAM EVALUATIONS

Balzer and Associates, Inc.
1208 Corporate Circle
Roanoke, VA 24018
540-772-9580
FAX 540-772-8050



PRESTON PLACE
1936 WEST MAIN STREET
E.S.C. NOTES & DETAILS
CITY OF SALEM, VIRGINIA

DRAWN BY BTC
DESIGNED BY BTC
CHECKED BY CPB
DATE 12/23/2016
SCALE AS SHOWN

REVISIONS:
1/25/2017
2/7/2017

SHEET NO.
C5
JOB NO. 04160090.00

PRESTON PLACE
PARKING EXPANSION

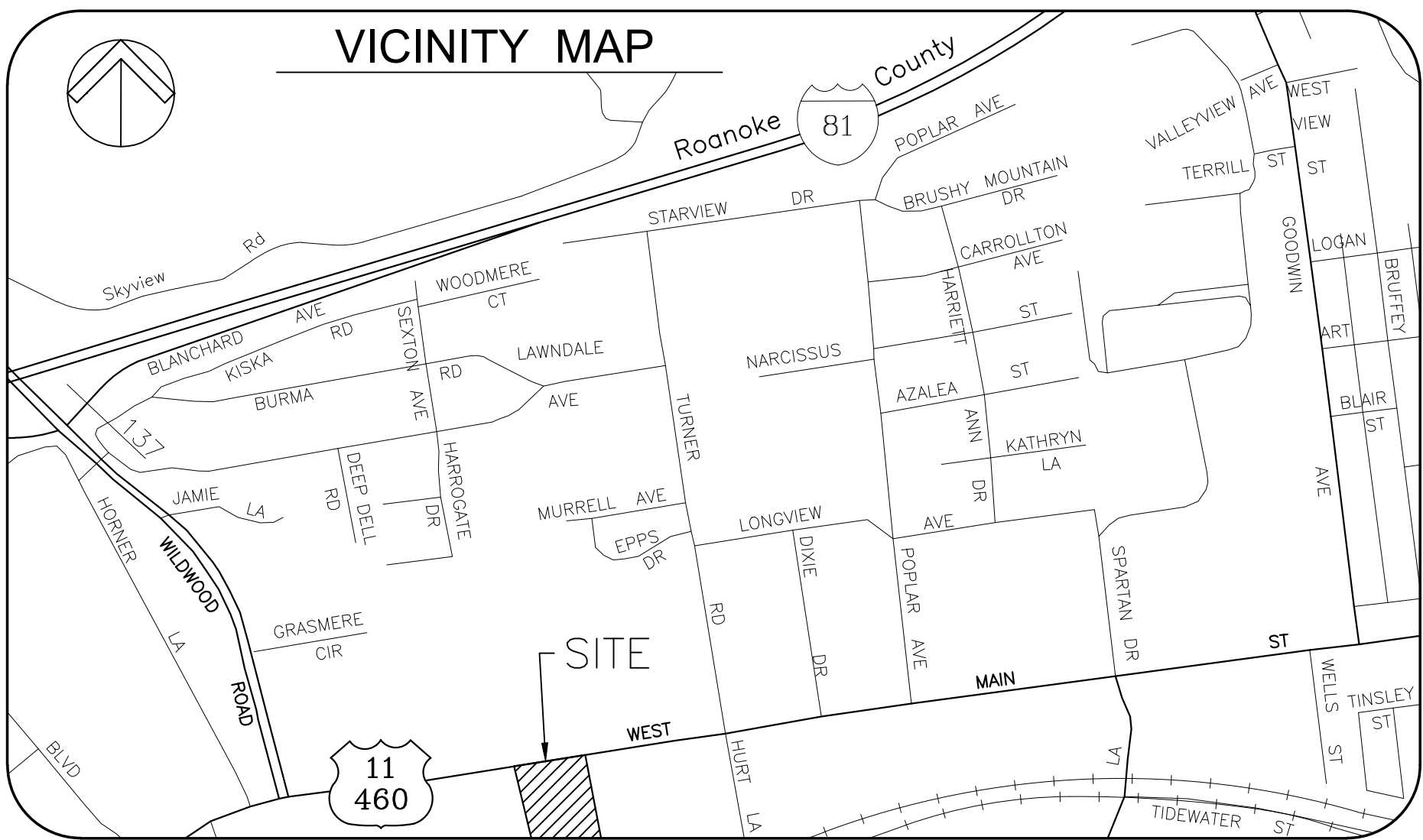
1936 WEST MAIN STREET
CITY OF SALEM
ROANOKE COUNTY, VIRGINIA

SHEET INDEX

- C1 COVER
C2 EXISTING CONDITIONS & LAYOUT PLAN
C3 GRADING, EROSION & SEDIMENT CONTROL PLAN
C4 NOTES & DETAILS
C5 EROSION & SEDIMENT CONTROL NOTES & DETAILS

SITE INFORMATION:

OWNER:	SALEM HISTORICAL SOCIETY 801 EAST MAIN STREET SALEM, VA 24153
TAX PARCEL NO.:	138-2-7
PROPOSED USE:	RESTAURANT, GENERAL
ZONING:	HBD - HIGHWAY BUSINESS DISTRICT W/CONDITIONS
SITE AREA:	9.331 ACRES
DISTURBED AREA:	0.22 ACRES
PROPOSED PARKING:	14 SPACES
MAXIMUM PARKING ALLOWED:	NO MAX FOR PROPOSED USE
PARKING SURFACE PROVIDED:	GRAVEL PER ZONING ORDINANCE 106.404.11(B)



GENERAL NOTES

ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF SALEM AND/OR THE VIRGINIA DEPARTMENT OF TRANSPORTATION.

THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF SALEM ENGINEERING DEPARTMENT AT LEAST THREE (3) DAYS PRIOR TO ANY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- A. INSTALLATION OF APPROVED EROSION CONTROL DEVICES.
B. DEMOLITION OF EXISTING STRUCTURES.
C. SUBGRADE EXCAVATION.
D. INSTALLING STORM SEWERS OR CULVERTS.
E. PLACING GRAVEL BASE.
F. PLACING ANY ROADWAY SURFACE/CURBING

A PRE-CONSTRUCTION CONFERENCE SHALL BE SCHEDULED WITH THE CITY OF SALEM ENGINEERING DEPARTMENT, TO BE HELD AT LEAST ONE DAY PRIOR TO ANY CONSTRUCTION.

AN APPROVED SET OF PLANS AND ALL PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.

FIELD CONSTRUCTION SHALL HONOR PROPOSED DRAINAGE DIVIDES AS SHOWN ON PLANS.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AT THE JOB SITE.

THE CONTRACTOR SHALL VERIFY BUILDING SIZE WITH THE ARCHITECTURAL PLANS DURING CONSTRUCTION FOR THE STRUCTURAL FOOTING LOCATIONS, ANY BUILDING OVERHANGS, ETC. THE CONTRACTOR SHALL ALSO REFER TO THESE DRAWINGS FOR THE EXACT UTILITY CONNECTION LOCATIONS AND SIZING. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND/OR THE ARCHITECT OF ANY DISCREPANCIES THAT WILL CAUSE A CONSTRUCTION CONFLICT.

THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE THAT STREETS ARE IN A CLEAN, MUD AND DUST-FREE CONDITION AT ALL TIMES.

THE DEVELOPER AND/OR CONTRACTOR SHALL SUPPLY ALL UTILITY COMPANIES WITH COPIES OF APPROVED PLANS, ADVISING THEM THAT ALL GRADING AND INSTALLATION SHALL CONFORM TO APPROVED PLANS.

CONTRACTORS SHALL NOTIFY UTILITIES OF PROPOSED CONSTRUCTION AT LEAST TWO, BUT NOT MORE THAN TEN WORKING DAYS IN ADVANCE. AREA PUBLIC UTILITIES MAY BE NOTIFIED THROUGH MISS UTILITY AT (800) 552-7001.

LOCATION OF UNDERGROUND UTILITIES IS BASED ON FIELD SURVEYS, AS SHOWN BY AVAILABLE RECORDS, AND AS LOCATED BY THE UTILITY LOCATOR SERVICE. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

THE SITE WORK AND LANDSCAPING CONTRACTOR(S) SHALL COMPLY WITH LOCAL CODES IN OBSERVING EROSION CONTROL MEASURES, BOTH ON AND OFF THE SITE. REFER TO THE VIRGINIA UNIFORM CODING SYSTEM CONTAINED IN THE VIRGINIA SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION, FOR DETAILS AND SPECIFICATIONS OF EROSION CONTROL ITEMS SHOWN ON THESE PLANS.

ALL PAVING AND CURBING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

CONSTRUCTION DEBRIS SHALL BE CONTAINED IN ACCORDANCE WITH THE VIRGINIA LITTER CONTROL ACT. NO LESS THAN ONE LITTER RECEPTACLE SHALL BE PROVIDED ON-SITE.

I, _____, HAVE BEEN INFORMED BY THE CITY OF SALEM ENGINEERING DEPARTMENT THAT I WILL BE RESPONSIBLE FOR OBTAINING THE PROPER PERMITS FOR THIS PROJECT FROM THE VIRGINIA DEPARTMENT OF ENVIRONMENTAL QUALITY.

SIGNATURE

DATE

LEGEND

-----348-----	EX. INTRMDT. CONTOUR	-----345-----	EX. INDEX CONTOUR	-----345-----	EX. INDEX CONTOUR	-----345-----	EX. INDEX CONTOUR
+ 35.55	EX. SPOT ELEVATION	+ 35.55	EX. SPOT ELEVATION	+ 35.55	EX. SPOT ELEVATION	+ 35.55	EX. SPOT ELEVATION
8" WL	EX. WATER LINE	8" WL	EX. WATER LINE	8" WL	EX. WATER LINE	8" WL	EX. WATER LINE
8" SAN	EX. SANITARY SEWER	8" SAN	EX. SANITARY SEWER	8" SAN	EX. SANITARY SEWER	8" SAN	EX. SANITARY SEWER
18" RCP	EX. STORM PIPE	18" RCP	EX. STORM PIPE	18" RCP	EX. STORM PIPE	18" RCP	EX. STORM PIPE
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---	EX. CONCRETE	---	EX. CONCRETE	---	EX. CONCRETE	---	EX. CONCRETE
---	EX. PAVEMENT	---	EX. PAVEMENT	---	EX. PAVEMENT	---	EX. PAVEMENT
---	EX. GRAVEL	---	EX. GRAVEL	---	EX. GRAVEL	---	EX. GRAVEL
////	PAVEMENT REPLACEMENT	////	PAVEMENT REPLACEMENT	////	PAVEMENT REPLACEMENT	////	PAVEMENT REPLACEMENT
●	EX. POWER POLE	●	EX. POWER POLE	●	EX. POWER POLE	●	EX. POWER POLE
SS	EX. SANITARY SEWER MANHOLE	SS	EX. SANITARY SEWER MANHOLE	SS	EX. SANITARY SEWER MANHOLE	SS	EX. SANITARY SEWER MANHOLE
ST	EX. STORM SEWER MANHOLE	ST	EX. STORM SEWER MANHOLE	ST	EX. STORM SEWER MANHOLE	ST	EX. STORM SEWER MANHOLE
CO	CLEANOUT	CO	CLEANOUT	CO	CLEANOUT	CO	CLEANOUT
□	EX. LIGHT POLE	□	EX. LIGHT POLE	□	EX. LIGHT POLE	□	EX. LIGHT POLE
▷	WATER LINE REDUCER	▷	WATER LINE REDUCER	▷	WATER LINE REDUCER	▷	WATER LINE REDUCER
□	EX. TELEPHONE	□	EX. TELEPHONE	□	EX. TELEPHONE	□	EX. TELEPHONE
G	EX. GAS LINE	G	EX. GAS LINE	G	EX. GAS LINE	G	EX. GAS LINE
OHU	EX. OVERHEAD CABLE	OHU	EX. OVERHEAD CABLE	OHU	EX. OVERHEAD CABLE	OHU	EX. OVERHEAD CABLE
X	EX. FENCE	X	EX. FENCE	X	EX. FENCE	X	EX. FENCE
---	EX. TREE LINE	---	EX. TREE LINE	---	EX. TREE LINE	---	EX. TREE LINE
---	ADJOINING PROPERTY LINE	---	ADJOINING PROPERTY LINE	---	ADJOINING PROPERTY LINE	---	ADJOINING PROPERTY LINE
■	EXISTING ROAD MONUMENTS	■	EXISTING ROAD MONUMENTS	■	EXISTING ROAD MONUMENTS	■	EXISTING ROAD MONUMENTS
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35.55	PROP. SPOT ELEVATION	35.55	PROP. SPOT ELEVATION	35.55	PROP. SPOT ELEVATION	35.55	PROP. SPOT ELEVATION
8" WL	PROP. WATER LINE	8" WL	PROP. WATER LINE	8" WL	PROP. WATER LINE	8" WL	PROP. WATER LINE
8" SAN	PROP. SANITARY SEWER	8" SAN	PROP. SANITARY SEWER	8" SAN	PROP. SANITARY SEWER	8" SAN	PROP. SANITARY SEWER
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---	PROP. CONCRETE	---	PROP. CONCRETE	---	PROP. CONCRETE	---	PROP. CONCRETE
---	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)	---	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)	---	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)	---	PROP. ASPHALT PAVEMENT (STANDARD/HEAVY DUTY)
---	PROP. GRAVEL	---	PROP. GRAVEL	---	PROP. GRAVEL	---	PROP. GRAVEL
---	PROP. PAVERS	---	PROP. PAVERS	---	PROP. PAVERS	---	PROP. PAVERS
●	PROP. POWER POLE	●	PROP. POWER POLE	●	PROP. POWER POLE	●	PROP. POWER POLE
○	PROP. MANHOLE	○	PROP. MANHOLE	○	PROP. MANHOLE	○	PROP. MANHOLE
---	SIGN	---	SIGN	---	SIGN	---	SIGN
WM	WATER METER	WM	WATER METER	WM	WATER METER	WM	WATER METER
---	PROP. GATE VALVE	---	PROP. GATE VALVE	---	PROP. GATE VALVE	---	PROP. GATE VALVE
---	BLOW-OFF VALVE	---	BLOW-OFF VALVE	---	BLOW-OFF VALVE	---	BLOW-OFF VALVE
☆	BENCHMARK	☆	BENCHMARK	☆	BENCHMARK	☆	BENCHMARK
G	PROP. GAS LINE	G	PROP. GAS LINE	G	PROP. GAS LINE	G	PROP. GAS LINE
OHU	PROP. OVERHEAD CABLE	OHU	PROP. OVERHEAD CABLE	OHU	PROP. OVERHEAD CABLE	OHU	PROP. OVERHEAD CABLE
P	PROP. UNDERGRND POWER LINE	P	PROP. UNDERGRND POWER LINE	P	PROP. UNDERGRND POWER LINE	P	PROP. UNDERGRND POWER LINE
X	PROP. FENCE	X	PROP. FENCE	X	PROP. FENCE	X	PROP. FENCE
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---	INLET PROTECTION	---	INLET PROTECTION	---	INLET PROTECTION	---	INLET PROTECTION

ABBREVIATIONS

AHFH	ARROW HEAD TOP OF FIRE HYDRANT	EVCS	END VERT. CURVE STA.	RR	RAILROAD
APPROX	APPROXIMATE	EW	ENDWALL	RYS	REAR YARD SETBACK
ASPH	ASPHALT	EXIST	EXISTING	SAN	SANITARY
BC	BACK OF CURB	FDN	FOUNDATION	SBL	SOUTH BOUND LANE
BIT	BITUMINOUS	FF	FINISHED FLOOR	SD	STORM DRAIN
BLDG	BUILDING	FG	FINISH GRADE	SECT	SECTION
BLK	BLOCK	GBE	GRADE BREAK ELEVATION	SE	SLOPE EASEMENT
BM	BENCHMARK	GBS	GRADE BREAK STATION	SS	SANITARY SEWER
BS	BOTTOM OF BOTTOM STEP	HOA	HOMEOWNERS ASSOCIATION	SSD	STOPPING SIGHT DISTANCE
BVCE	BEGIN VERT. CURVE ELEV.	HPT	HIGH POINT	SSE	SANITARY SEWER EASEMENT
BVCS	BEGIN VERT. CURVE STA.	HSD	HEADLIGHT SIGHT DISTANCE	STA	STATION
BW	BOTTOM OF WALL	INTX	INTERSECTION	STD	STANDARD
CB	CINDER BLOCK	INV	INVERT	STO	STORAGE
C&G	CURB & GUTTER	IP	IRON PIN	SYS	SIDE YARD SETBACK
CMP	CORRUGATED METAL PIPE	LT	LEFT	TBM	TEMPORARY BENCHMARK
CONC	CONCRETE	LVC	LENGTH OF VERTICAL CURVE	TBR	TO BE REMOVED
COR	CORNER	MH	MANHOLE	TC	TOP OF CURB
DBL	DOUBLE	MIN	MINIMUM	TEL	TELEPHONE
DEFL	DEFLECTION	MBL	MINIMUM BUILDING LINE	TRANS	TRANSFORMER
DI	DROP INLET	MON	MONUMENT	TS	TOP OF TOP STEP
DIA	DIAMETER	NBL	NORTH BOUND LANE	TW	TOP OF WALL
DE	DRAINAGE EASEMENT	PROP	PROPOSED	TYP	TYPICAL
ELEC	ELECTRIC	PUE	PUBLIC UTILITY EASEMENT	VDOT	VIRGINIA DEPARTMENT OF TRANSPORTATION
ELEV	ELEVATION	PVMT	PAVEMENT	VERT	VERTICAL
ENTR	ENTRANCE	R	RADIUS	WBL	WEST BOUND LANE
EP	EDGE OF PAVEMENT	RT	RIGHT	YD	YARD
EVCE	END VERT. CURVE ELEV.	R.O.W.	RIGHT OF WAY		
		REQD	REQUIRED		



ENGINEERS NOTES:

BALZER AND ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR ADEQUACY OF PLANS OR FOR INFORMATION ON PLANS UNTIL SUCH PLANS HAVE BEEN APPROVED BY THE REQUIRED PUBLIC AGENCIES.

ANY WORK COMMENCED ON A PROJECT PRIOR TO PLAN APPROVAL IS AT SOLE RISK OF THE DEVELOPER.

BALZER AND ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE CONTRACTORS FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE PLANS OR WILL NOT BE RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.

SOURCE OF TOPOGRAPHIC MAPPING IS FIELD SURVEY PERFORMED BY BALZER AND ASSOCIATES, INC., DATED DECEMBER 2015 & SUPPLEMENTAL COMPILED AERIAL GIS INFORMATION.



BALZER & ASSOCIATES
PLANNERS / ARCHITECTS
ENGINEERS / SURVEYORS

Roanoke / Richmond
New River Valley / Staunton
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1208 Corporate Circle
Roanoke, VA 24018
540.772.9580



PRESTON PLACE PARKING EXPANSION

COVER

DRAWN BY: CLL
DESIGNED BY: BTC
CHECKED BY: BTC
DATE: 4/30/2019
SCALE: AS SHOWN
REVISIONS: 6/5/2019

C1
PROJECT NO: 04190026.00
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1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND CITY OF SALEM.

RIGHT OF WAY LANDSCAPING: WEST MAIN STREET
1 DEC. TREE PER 320 S.F. OF LANDSCAPE AREA
(552 S.F.)
REQUIRED: 2 TREES
PROVIDED: 2 TREES

1 DEC. TREE PER 160 S.F. OF LANDSCAPE AREA
(480 S.F.)
REQUIRED: 3 TREES
PROVIDED: 4 TREES & 5 EX. TREES TO REMAIN

1 TREE PER 10 PARKING SPACES
(14 PARKING SPACES SHOWN)
REQUIRED: 2 TREES
PROVIDED: 2 TREES

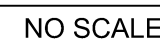
REQUIRED: 1 TREE
PROVIDED: 1 TREE

Diagram illustrating the correct method for planting a tree, showing the root ball, soil saucer, and various stakes and wires used for support and anchoring.

- RUBBER HOSE AROUND TREE AT WIRE
- LOCATE ANCHOR STAKE 18" AWAY FROM TRUNK ON SIDE OF PREVAILING WIND. T-RAIL IRON STAKE OR ACCEPTABLE WOODEN SUBSTITUTE. ANCHOR FIRMLY.
- CROWN OF ROOT BALL SHALL BEAR SAME RELATION (OR SLIGHTLY ABOVE) TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE. PLACE ON SUBGRADE PEDESTAL.
- MULCH: SHREDDED HARDWOOD
- CREATE SOIL SAUCER WITH TOPSOIL 6" MIN.
- FOLD DOWN OR CUT AND REMOVE TOP 1/3 OF BURLAP IF NON-BiodeGRADABLE WRAP IS USED. REMOVE TOTALLY.
- TOPSOIL MIX OR CLEAN SUBSOIL BACKFILL
- PREPARED SUBSOIL PEDESTAL

12" MIN.

NO SCALE



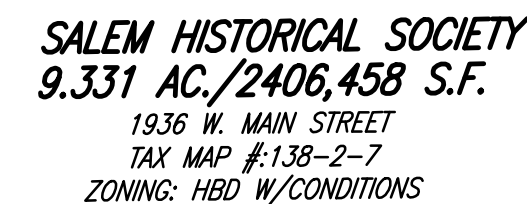
1. 6" STONE BASE MUST BE PLACED IN TWO LIFTS OF NO MORE THAN 4" EACH.
2. A TACK COAT SHALL BE APPLIED BETWEEN ASPHALT PAVEMENT LAYERS
3. G.C. TO ENSURE A MINIMUM OF 95% COMPACTION OF THE SUBGRADE PRIOR TO STONE/ASPHALT PLACEMENT.



NO SCALE



NO SCALE



EROSION & SEDIMENT CONTROL LEGEND:

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	3.31	TEMPORARY SEEDING	TS
3.05	SILT FENCE	SF	3.32	PERMANENT SEEDING	PS
3.07	STORM DRAIN INLET PROTECTION	IP	3.35	MULCHING	MU

CONSTRUCTION SEQUENCING NOTES:

1. THE CONSTRUCTION ENTRANCE SHALL BE INSTALLED AS A FIRST STEP. THE EXISTING GRAVEL BASE SHALL BE UTILIZED TO THE MAXIMUM EXTENT POSSIBLE FOR CONSTRUCTION ACCESS.
2. SILT FENCE TO BE INSTALLED AS SHOWN. THE SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. THE R.L.D. ASSIGNED TO THE PROJECT SHALL ENSURE ALL REGULATIONS ARE FOLLOWED AND DOCUMENTED THROUGHOUT THE ENTIRE PROJECT TO PREVENT THE EXCESSIVE BUILD-UP OF SEDIMENT.
3. INLET PROTECTION SHALL BE PROVIDED FOR THE EXISTING STORMWATER INLET.
4. G.C. SHALL PAY SPECIAL ATTENTION TO ENSURE SEDIMENT LADEN RUNOFF IS NOT DIRECTED TOWARDS THE ADJACENT PUBLIC RIGHT OF WAY AND THERE SHALL BE NO MUD 'TRACKING' FROM THE SITE INTO THE PUBLIC RIGHT OF WAY.
5. GRADING OPERATIONS SHALL TAKE PLACE AT THIS TIME AFTER ALL REQUIRED PERMITS HAVE BEEN OBTAINED.
6. TEMPORARY SEEDING SHALL BE PROVIDED WITHIN 7 DAYS FOR ALL AREAS THAT WILL NOT RECEIVE PAVEMENT OR OTHER PERMANENT IMPROVEMENTS WITHIN 14 DAYS.
7. G.C. SHALL PAY SPECIAL ATTENTION DURING THE CONSTRUCTION OF THE PARKING AREAS & DRIVE AISLES ALONG WEST MAIN STREET TO ENSURE NO SEDIMENT OR SEDIMENT LADEN RUNOFF IS TRANSPORTED DOWNSTREAM ALONG THE PAVEMENT, CURB & GUTTER, OR WITHIN THE STORM SEWER SYSTEM.
8. PAVEMENT AND LANDSCAPING SHALL BE INSTALLED AT THIS TIME.
9. AFTER FINAL SITE STABILIZATION AND AT VARIOUS CONSTRUCTION STAGES OF THE PROJECT AND CITY OF SALEM APPROVAL, INLET PROTECTION, SILT FENCE, AND THE CONSTRUCTION ENTRANCE CAN BE REMOVED.
10. G.C. SHALL ENSURE THAT THE LIMITS OF DISTURBANCE ARE STRICTLY ADHERED TO DURING THE PROJECT.
12. NO DEVIATIONS TO THE PLANS SHALL TAKE PLACE UNLESS PRIOR APPROVAL FROM THE OWNER, PROJECT ENGINEER, AND THE APPROPRIATE REVIEW AGENCIES.

*NOTE: CITY OF SALEM INSPECTION AND APPROVAL IS REQUIRED PRIOR TO THE REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES.

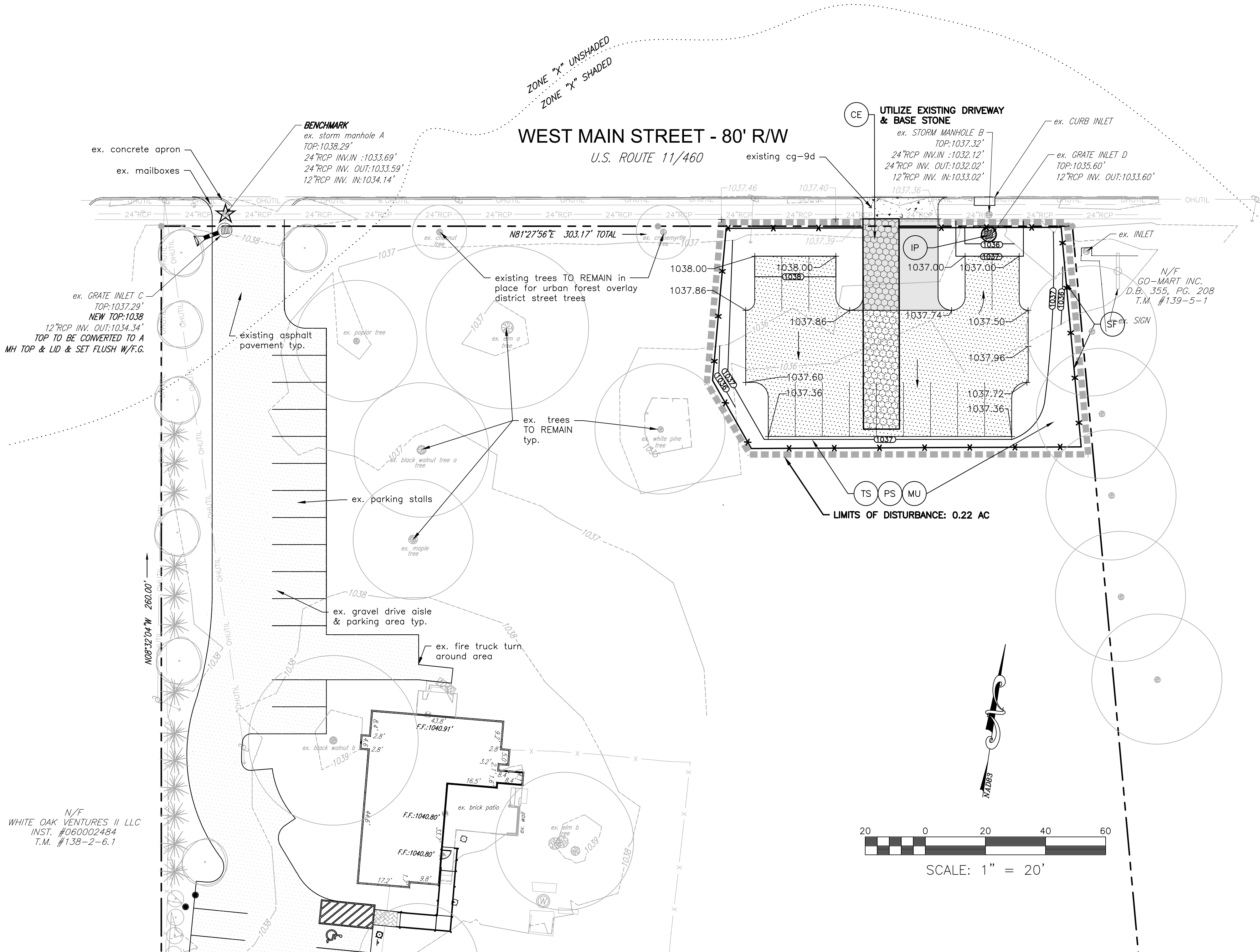
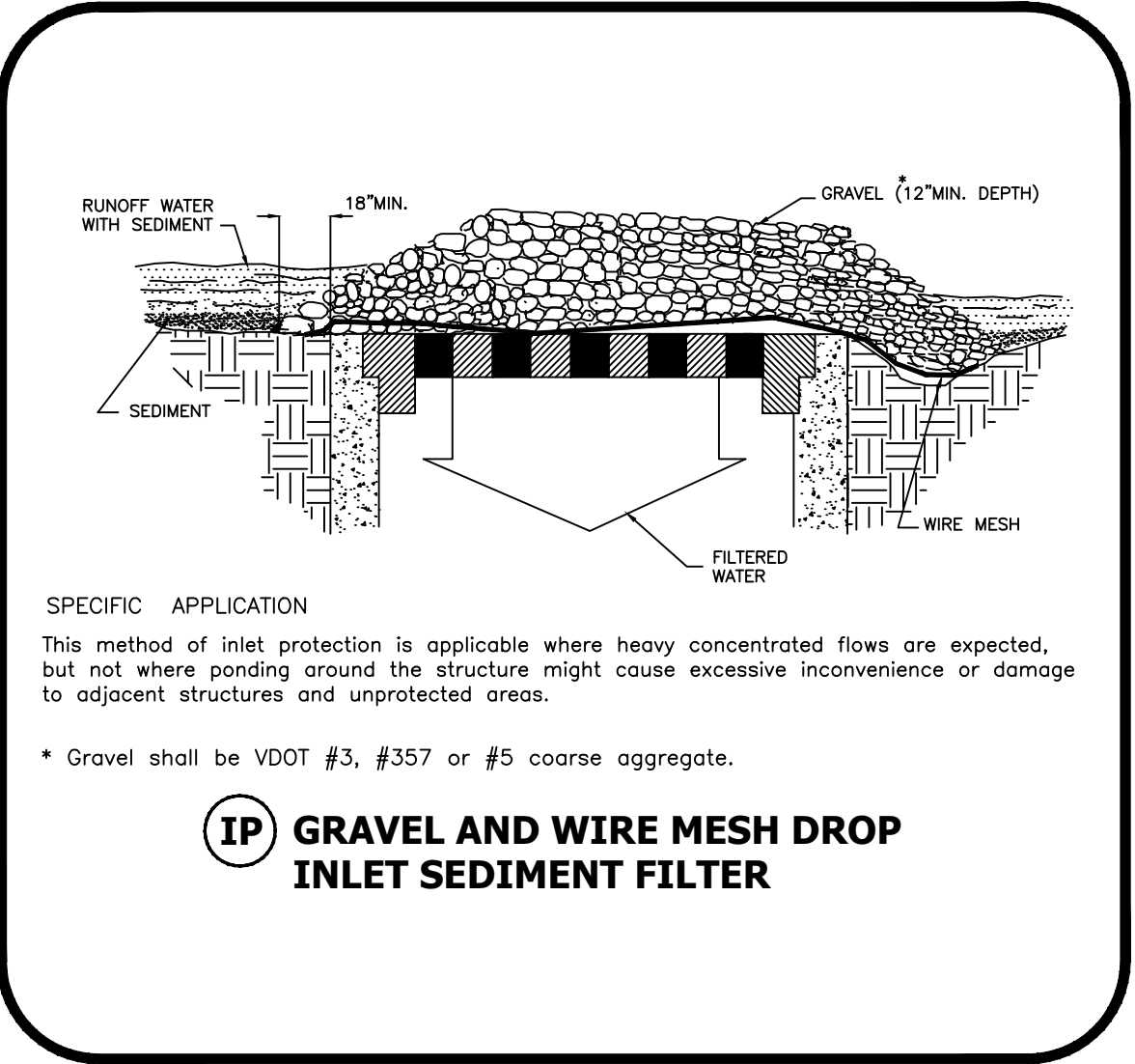
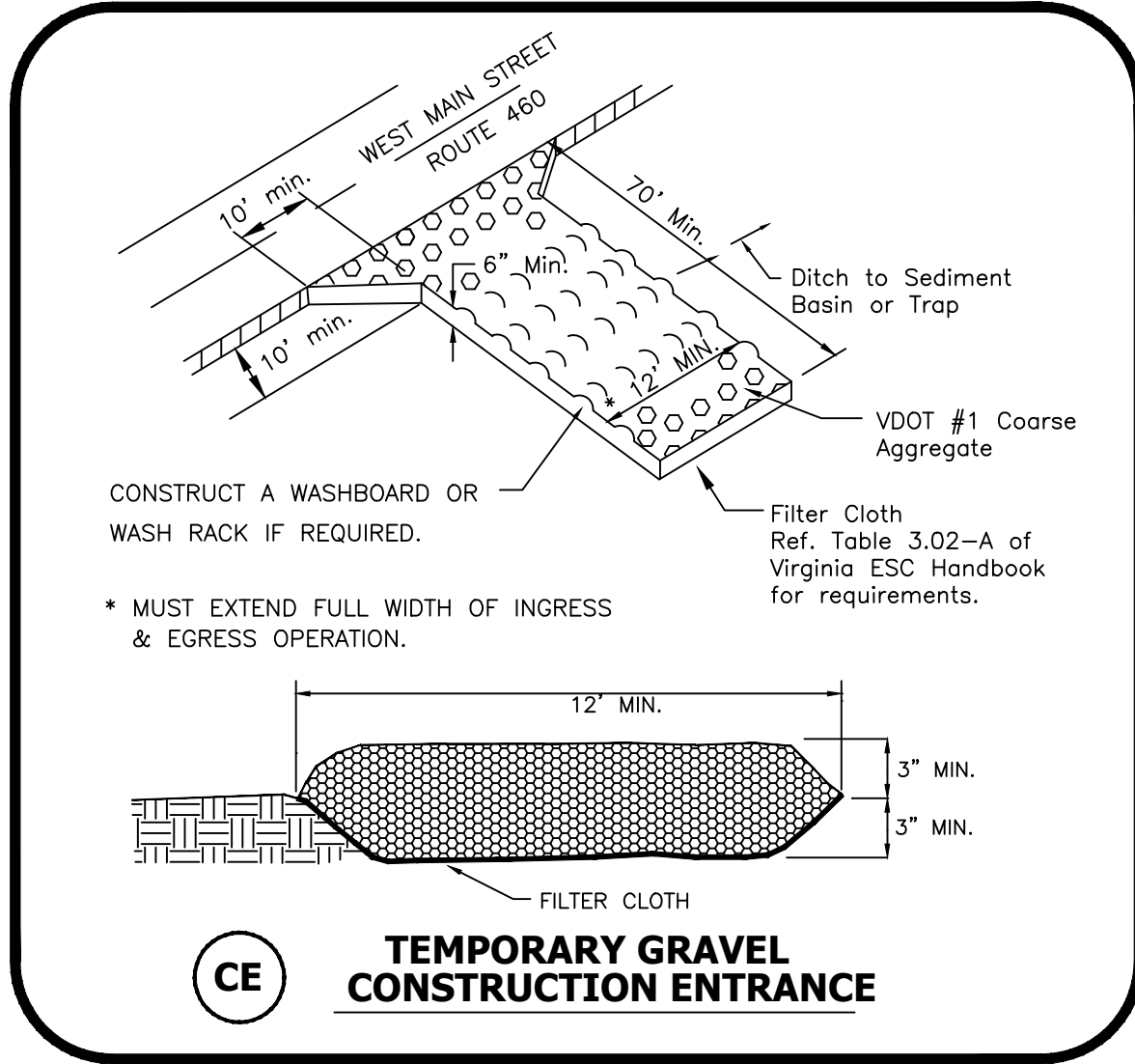
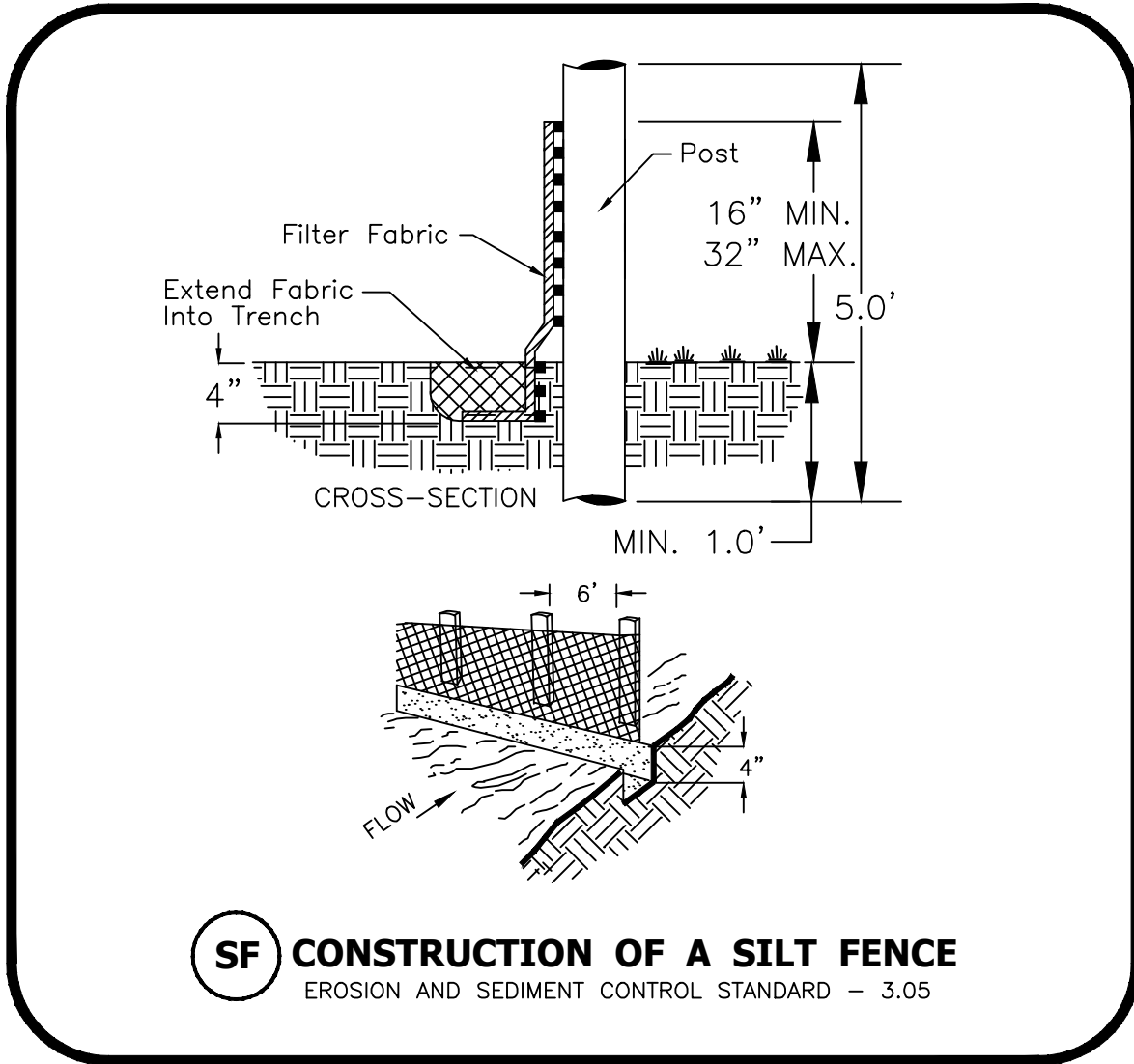
GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. ALL SOIL EROSION & SEDIMENT CONTROL MEASURES SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
2. THE APPROVING AUTHORITY MAY ADD TO, DELETE, RELOCATE, CHANGE, OR OTHERWISE MODIFY CERTAIN EROSION AND SEDIMENT CONTROL MEASURES WHERE FIELD CONDITIONS ARE ENCOUNTERED THAT WARRANT SUCH MODIFICATIONS.
3. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE PLAN SHALL BE PLACED IN ADVANCE OF THE WORK BEING PERFORMED, AS FAR AS PRACTICAL.
4. IN NO CASE DURING CONSTRUCTION SHALL WATER RUNOFF BE DIVERTED OR ALLOWED TO FLOW TO LOCATIONS WHERE ADEQUATE PROTECTION HAS NOT BEEN PROVIDED.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LEAVE THE SITE ADEQUATELY PROTECTED AGAINST EROSION, SEDIMENTATION, OR ANY DAMAGE TO ANY ADJACENT PROPERTY AT THE END OF EACH DAY'S WORK.
6. FOR THE EROSION CONTROL KEY SYMBOLS SHOWN ON THE PLANS, REFER TO THE VIRGINIA UNIFORM CODING SYSTEM FOR EROSION AND SEDIMENT CONTROL PRACTICES CONTAINED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THESE SYMBOLS AND KEYS ARE TO BE UTILIZED ON ALL EROSION CONTROL PLANS SUBMITTED TO ROANOKE COUNTY.
7. THE LOCATION OF ALL OFF-SITE FILL OR BORROW AREAS ASSOCIATED WITH THE CONSTRUCTION PROJECT WILL BE PROVIDED TO ROANOKE COUNTY DEPARTMENT OF COMMUNITY DEVELOPMENT. AN EROSION CONTROL PLAN OR MEASURES MAY BE REQUIRED FOR THIS AREA.
8. THIS SHEET MAY NOT BE MODIFIED EXCEPT FOR TABLES

TOTAL DISTURBED AREA = 0.22 AC. = 9,585 SQ. FT.

GENERAL GRADING NOTES:

1. NO CONSTRUCTION/FIELD CHANGES WITHOUT THE APPROVAL OF THE CONSULTING ENGINEER AND THE CITY OF SALEM.
2. ANY CHANGES IN GRADES OR ESC MEASURES WILL REQUIRE A NEW SET OF PLANS STAMPED BY THE CONSULTING ENGINEER.



SITE CONSTRUCTION PLAN GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH CURRENT VDOT STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION. CONTACT THE CONSULTING ENGINEER IF ANY DISCREPANCIES ARE FOUND.

UPON THE DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT A GEOTECHNICAL ENGINEER AND/OR ROANOKE COUNTY. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT VDOT SPECIFICATIONS.

ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH VDOT STANDARDS AND SPECIFICATIONS.

ALL ENTRANCES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT VDOT STANDARDS.

CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY UTILITY WITHIN EXISTING AND/OR PROPOSED RIGHT-OF-WAY REQUIRED BY THE DEVELOPMENT.

CASING SLEEVES SHALL BE PLACED AT ALL PAVEMENT CROSSINGS FOR GAS, POWER, TELEPHONE, CABLE TV AND IRRIGATION SERVICE LINES.

THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICE LATERALS AND/OR SLEEVES) SHALL BE COMPLETED PRIOR TO PLACEMENT OF AGGREGATE BASE COURSE.

A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT A RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.

THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS (LATEST EDITION).

ALL VEGETATION AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE RIGHT-OF-WAY LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.

G.C. SHALL SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF SALEM PRIOR TO ANY CONSTRUCTION WITHIN THE RIGHT-OF-WAY.

GRADING NOTES

- G.C. SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
- REFER TO BUILDING PLANS FOR SUBGRADE AND UTILITY TRENCHES WITHIN 5' OF THE BUILDING ENVELOPE.
- REMOVE TREES, SHRUBS, GRASS, AND OTHER VEGETATION, IMPROVEMENTS OR OBSTRUCTIONS AS REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE TREES AND OTHER VEGETATION, INCLUDING STUMPS AND ROOTS, COMPLETELY IN AREAS REQUIRED FOR SUBSEQUENT SEEDING. CUT OFF TREES AND STUMPS IN AREAS TO RECEIVE FILL MORE THAN THREE FEET IN DEPTH TO WITHIN EIGHT INCHES OF THE ORIGINAL GROUND SURFACE.
- BARRICADE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND OPERATE WARNING LIGHTS AS RECOMMENDED BY AUTHORITIES HAVING JURISDICTION.
- EXCAVATION FOR STRUCTURES:
 - CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF 0.1"
 - PROVIDE TRUE AND STRAIGHT FOOTING EXCAVATIONS WITH UNIFORM AND LEVEL BOTTOMS OF THE WIDTH INDICATED TO ENSURE PROPER PLACEMENT AND COVER OF ALL REINFORCEMENT.
 - REMOVE LOOSE MATERIALS FROM THE EXCAVATION PRIOR TO PLACEMENT OF CONCRETE.
 - FOOTINGS WHICH SUPPORT CONCRETE MASONRY UNITS MAY BE STEPPED PROVIDED THE VERTICAL STEP DOES NOT EXCEED ONE HALF OF THE HORIZONTAL DISTANCE BETWEEN STEPS AND HORIZONTAL DISTANCE BETWEEN STEPS IS NOT LESS THAN TWO FEET.
 - IF ROCK IS ENCOUNTERED IN A FOOTING EXCAVATION, CONTACT GEOTECHNICAL TESTING FIRM FOR SPECIFIC INSTRUCTIONS.
- CUT SURFACE UNDER PAVEMENTS TO COMPLY WITH CROSS SECTIONS, ELEVATIONS, AND GRADES AS INDICATED.
- EXCAVATE TRENCHES TO UNIFORM WIDTH CONFORMING TO VDOT STANDARD PB-1 FOR STORM DRAINAGE PIPING.
- PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS.
- PROTECT EXCAVATED BOTTOMS OF ALL FOOTINGS AND TRENCHES AGAINST FREEZING WHEN ATMOSPHERIC TEMPERATURE IS LESS THEN 35°F (1").
- PLACE ALL FILL AND BACKFILL PER GEOTECHNICAL REPORT.
- FINISH LAWN AREAS TO WITHIN ONE INCH ABOVE OR BELOW REQUIRED SUBGRADE ELEVATIONS. SHAPE SURFACE UNDER WALKS AND PAVEMENTS TO LINE, GRADE, AND CROSS SECTION, WITH NOT MORE THAN 1/2" ABOVE OR BELOW REQUIRED SUBGRADE ELEVATION.
- GRADE SURFACE UNDER BUILDING SLABS SMOOTH AND EVEN, FREE OF VOIDS.
- PROTECT GRADED AREAS FROM TRAFFIC AND EROSION. REPAIR AREAS WHICH HAVE SETTLED, ERODED, OR BECOME DAMAGED DUE TO CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER.
- PREPARE AREA FOR SOD INSTALLATION BY SPREADING TOPSOIL TO A DEPTH OF 4" OVER ALL DISTURBED AREAS NOT RECEIVING WALKS, PAVEMENT, WALLS OR BUILDING INCLUDING TRENCHES. IMMEDIATELY FOLLOWING PLACEMENT OF TOPSOIL, DISK THE ENTIRE TOPSOILED AREA AND RAKE FREE OF STONES AND DEBRIS OVER 1/2" IN ANY DIMENSION. PROVIDE A FINISHED SURFACE FREE OF DEPRESSIONS OR HIGH SPOTS. PREPARE FOR SOD IMMEDIATELY.
- OWNER (CONTRACTOR) SHALL EMPLOY QUALIFIED SOILS TESTING LABORATORY TO INSPECT EARTHWORK OPERATIONS. NOTIFY LABORATORY PRIOR TO PERFORMING EARTHWORK OPERATIONS.

CONSTRUCTION SITE PLAN GENERAL NOTES
CONSTRUCTION METHODS

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS, VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE STANDARDS, AND LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS, WHERE APPLICABLE.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN IS APPROXIMATE. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION WORK AND NOTIFY ENGINEER IMMEDIATELY IF LOCATIONS DIFFER FROM PLANS.
- THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-552-7001 OR 811 PRIOR TO ANY CONSTRUCTION WORK IN THIS AREA.
- HANDICAPPED ACCESSIBILITY / ADA COMPLIANCE
 - THE MAXIMUM ALLOWABLE CROSS SLOPE ACROSS ACCESSIBLE PARKING SPACES AND ACCESSIBLE AISLES IS 2%. NO SLOPE IN ANY DIRECTION SHALL EXCEED 2% WITHIN ADA PARKING SPACES OR AISLES.
 - THE MAXIMUM ALLOWABLE LONGITUDINAL SLOPE ALONG ACCESSIBLE AISLES IS 5%.
- THE CONTRACTOR SHALL VERIFY SLOPES AND GRADES FOR ALL ACCESSIBLE PARKING SPACES AND ACCESS AISLES AFTER STAKING IS COMPLETE AND BOTH BEFORE AND AFTER INSTALLATION.
- ANY SLOPE DISCREPANCIES DETECTED BY THE SURVEYOR AND/OR CONTRACTOR SHALL BE REPORTED TO THE ENGINEER PRIOR TO INSTALLATION.
- UNLESS SPECIFICALLY NOTED ON THE SITE PLAN, DETECTABLE WARNINGS STRIPS ARE REQUIRED AT ALL CURB RAMPS AND FLUSH CURB TRANSITIONS TO PARKING LOTS.
- HAND RAILS ARE REQUIRED FOR ANY ACCESSIBLE SITE PEDESTRIAN RAMPS WITH LONGITUDINAL SLOPES THAT EXCEED 5% AND / OR 6-INCHES IN RISE.
- SITE HAND RAILS SHALL BE PER VDOT / ADA / ANSI STANDARDS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- SITE HAND RAILS SHALL BE INSTALLED ON BOTH SIDES OF THE SITE SIDEWALKS WHERE HAND RAILS ARE REQUIRED.
- PER VDOT STANDARDS, THE MAXIMUM PERMISSIBLE CURB RAMP SLOPE IS 12:1.
- GUTTER PAN INSTALLED IN ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% SLOPE.
- NO VERTICAL TRANSITIONS IN ADA ACCESSIBLE ROUTES SHALL EXCEED 1/4".

CURB AND GUTTER

- THE CONTRACTOR SHALL USE A MINIMUM OF THREE (3) RUNNING CONSTRUCTION STAKES TO AVOID HARD BREAK LINES IN THE CURB - UNLESS SPECIFICALLY CALLED FOR ON THE PLANS.
- THE MINIMUM LONGITUDINAL SLOPE FOR GUTTER PAN IS 0.5%, UNLESS OTHERWISE NOTED ON PLANS.
- A MINIMUM 20-FOOT TRANSITION FROM CG-6 TO CG-7 IS REQUIRED, UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL CURB AND GUTTER SHOWN ON THE PLANS SHALL BE VDOT CG-6, CG-2, OR CG-7, UNLESS SPECIFICALLY NOTED OTHERWISE.

UNDERGROUND UTILITIES

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LINE AND GRADE FOR ALL DRY UTILITIES PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING DRY UTILITY LINES AND GRADES AGAINST ALL PROPOSED UTILITIES SHOWN ON THE PLANS. POTENTIAL CONFLICTS SHALL BE REPORTED TO THE ENGINEER AS SOON AS POSSIBLE.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING TELEPHONE, CABLE, FIBER OPTIC, AND ELECTRICAL SERVICES TO THE PROJECT. CONTACT UTILITY PROVIDERS AS SOON AS POSSIBLE TO BEGIN COORDINATION.
- THE CONTRACTOR SHALL REVIEW SITE AND BUILDING DRAWINGS TO VERIFY COORDINATION OF UTILITY INVERTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.

SIDEWALKS AND SITE STAIRS

- ALL SITE STAIRS SHALL BE FURNISHED WITH VDOT HR-1 ON BOTH SIDES OF THE STAIRS.
- ALL SITE STAIRS SHALL BE CONSTRUCTED IN ACCORDANCE WITH VDOT / ADA / ANSI STANDARDS AND SPECIFICATIONS, UNLESS SPECIFICALLY NOTED OTHERWISE.
- SIDEWALKS SHALL BE INSTALLED WITH A MAXIMUM 2% CROSS-SLOPE
- SIDEWALKS SHALL BE BROOM FINISHED, UNLESS NOTED OTHERWISE ON THE PLANS.
- SIDEWALKS SHALL BE 5-FEET IN WIDTH, UNLESS NOTED OTHERWISE ON THE PLANS.

ROOF DRAINS AND DOWN SPOUTS

- ALL DOWNSPOUTS NOT CONNECTED TO STORM SEWER SHALL BE FURNISHED WITH SPLASH BLOCKS.
- ALL DOWN SPOUTS SHALL BE FURNISHED WITH A DOWNSPOUT/ROOFDRAIN TRANSITION BOOT. STUBBING OF DOWNSPOUT INTO ROOF DRAIN LATERAL WITHOUT A SUITABLE BOOT TRANSITION IS NOT PERMITTED.
- ALL ROOF DRAIN LATERALS SHALL BE INSTALLED IN ACCORDANCE WITH THE PREVAILING LOCAL JURISDICTIONAL PLUMBING CODE OR THE INTERNATIONAL PLUMBING CODE, WHICHEVER IS MORE STRINGENT.
- MINIMUM ALLOWABLE SLOPE FOR 4-INCH ROOF DRAIN LATERAL IS 2.08%.
- MINIMUM ALLOWABLE SLOPE FOR 6-INCH ROOF DRAIN LATERAL IS 1.04%.
- ROOF DRAIN LATERALS SHALL BE 6-INCH DIAMETER (SMOOTH-WALLED), UNLESS NOTED OTHERWISE ON THE PLANS.

TELEPHONE, FIBER OPTIC, CABLE, AND GAS LINE SERVICES

- CONTRACTOR SHALL HAVE 'MISS UTILITY' MARK EXISTING UTILITY LINES PRIOR TO START OF CONSTRUCTION AND AS NECESSARY THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL REVIEW PLANS TO VERIFY EXISTING LOCATIONS MARKED IN THE FIELD MATCH THOSE SHOWN ON THE PLANS.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ANY POTENTIAL DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL POT-HOLE EXISTING UTILITIES AT CRITICAL CROSSING LOCATIONS PRIOR TO THE START OF CONSTRUCTION AND PROVIDE ENGINEER WITH LINE AND GRADE INFORMATION.

BUILDING DOORS AND GRADES

- A MINIMUM 5'X5' PAD SHALL BE INSTALLED AT ALL BUILDING DOOR LOCATIONS (MAXIMUM 2% SLOPE IN ANY DIRECTION). COMPLY WITH ADA DOOR CLEARANCE REQUIREMENTS FOR PAD POSITIONING OUTSIDE OF THE DOOR.
- FINISHED GRADE SHALL BE 6-INCHES BELOW FINISHED FLOOR ELEVATION ALONG ALL BUILDING WALLS, IN AREAS WHERE PERVIOUS SURFACES ARE PROVIDED, UNLESS OTHERWISE NOTED. FINISHED GRADE FOR AREAS TO BE MULCHED SHALL BE AT TOP OF MULCH. FINISHED GRADE FOR AREAS TO RECEIVE SOD SHALL BE TO TOP OF SOD.
- ALL PERVIOUS SURFACES SHALL BE INSTALLED WITH A MINIMUM OF 2% SLOPE AWAY FROM THE BUILDING (FOR A MINIMUM OF 10-FEET), TO PROVIDE FOR POSITIVE DRAINAGE.
- CONTRACTOR SHALL COORDINATE LOCATION OF WEEP HOLES ALONG ALL BUILDING WALLS AND VERIFY REQUIRED SEPARATION BETWEEN WEEP HOLES AND FINISHED GRADES.
- CONTRACTOR SHALL REVIEW GRADING ALONG BUILDINGS WITH STOREFRONTS TO VERIFY REQUIRED SEPARATION IS PROVIDED.

DEMOLITION NOTES

DEMOLITION SHALL INCLUDE, UNLESS OTHERWISE NOTED ON DRAWINGS, REMOVAL OF EXISTING OBJECTS OR IMPROVEMENTS, WHETHER INDICATED ON THE DRAWINGS OR NOT, THAT WOULD IN THE OPINION OF THE OWNER, PREVENT OR INTERFERE WITH THE PROGRESS OR COMPLETION OF THE PROPOSED WORK.

PERMITS, FEES AND LICENSES SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR, INCLUDING DISPOSAL CHARGES AS REQUIRED.

WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE GOVERNING AUTHORITIES IN DEMOLITION OF EXISTING PAVEMENT, CURBS AND GUTTERS, DRAINAGE STRUCTURES AND UTILITIES AS MAY BE REQUIRED.

CONTRACTOR SHALL SAW-CUT ALL JOINTS WHERE EXISTING CURBING, PAVEMENT AND SIDEWALK IS TO BE DEMOLISHED AND NEW CONSTRUCTION JOINS THE EXISTING.

CONTRACTOR SHALL COMPLETELY FILL BELOW GRADE AREAS AND VOIDS FROM DEMOLITION OR REMOVAL OF STRUCTURES (UNDERGROUND FUEL STORAGE TANK, BASEMENTS, WELLS, ETC.) USING APPROVED SELECT FILL MATERIAL.

ALL EXISTING CURBING, CONCRETE SIDEWALK, ENTRANCES, BUILDING FOUNDATIONS AND TREES AND BRUSH THAT ARE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR. BUILDING DEBRIS, ETC. SHALL NOT BE USED AS FILL MATERIAL ON THE SITE.

CONTRACTOR SHALL PROVIDE THE FOLLOWING PROTECTIONS AT THE JOB SITE:

MAKE ARRANGEMENTS, BEFORE INITIATING DEMOLITION, FOR RELOCATING, DISCONNECTION, REROUTING, ABANDONING, OR SIMILAR ACTION AS MAY BE REQUIRED RELATIVE TO UTILITIES AND OTHER UNDERGROUND PIPING, TO PERMIT WORK TO PROCEED WITHOUT DELAY. ARRANGEMENTS SHALL BE MADE IN ACCORDANCE WITH REGULATIONS OF AUTHORITIES OF UTILITIES MENTIONED, SUCH AS OVERHEAD AND UNDERGROUND POWER AND TELEPHONE LINES AND EQUIPMENT, GAS PIPING, STORM SEWERS, SANITARY SEWERS, OR WATER PIPING. CONTRACTOR SHALL NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS, SUCH AS ICE, FLOODING AND/OR POLLUTION.

ENSURE SAFE PASSAGE OF PERSONS AROUND ALL AREAS OF DEMOLITION.

CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT BUILDINGS, STRUCTURES, OTHER FACILITIES, OR INJURY TO PERSONS.

PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.

MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN. KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS. PREVENT INTERRUPTION OF EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES.

USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN AIR TO LOWEST PRACTICAL LEVEL.

COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

G.C. TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY CONFLICTS PRESENT.

LANDSCAPE SPECIFICATIONS

- PLANT MATERIAL SIZES AND GRADING ARE TO COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA).
- ALL WORK SHALL BE COORDINATED WITH TRADES.
- USE EXISTING TOPSOIL AND/OR PROVIDE NEW TOPSOIL, WHICH IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, FOREIGN MATTER AND ROOTS, STUMPS AND STONES LARGER THAN 2" IN DIMENSION.
- CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL MAINTAIN PLANT MATERIAL DURING INSTALLATION AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER UPON ACCEPTANCE OF WORK.
- WHERE THE LANDSCAPE WORK IS COMPLETED, THE OWNER'S REPRESENTATIVE WILL, UPON WRITTEN REQUEST, MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY. IF WORK IS NOT ACCEPTABLE, REPLACE REJECTED WORK AND CONTINUE MAINTENANCE UNTIL REINSPECTION AND APPROVAL.
- GUARANTEE ALL MATERIALS AND LABOR FOR 12 CALENDAR MONTHS AFTER ACCEPTANCE.
 - MAKE REPLACEMENTS OF ALL DEAD PLANTS IN IMPAIRED CONDITIONS IN EARLY FALL FOLLOWING PLANTING.
 - REPLACE ADDITIONAL MATERIAL IN THE EARLY SPRING WHICH ARE DEAD OR IMPAIRED FROM THE WINTER CONDITIONS.
- WITHIN 10 DAYS AFTER ACCEPTANCE, THE CONTRACTOR SHALL DELIVER AN OUTLINE OF MAINTENANCE PROCEDURES RECOMMENDED FOR THIS PLANTING FOR THE OWNER.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY DURING THE GUARANTEE PERIOD TO PROVIDE WRITTEN NOTICE TO THE OWNER OF ANY MAINTENANCE PRACTICE WHICH IN THEIR OPINION WILL AFFECT THE GUARANTEE IF NOT REMEDIED PROMPTLY.
- DO NOT MAKE SUBSTITUTIONS. BID MATERIALS SHOWN ON PLANS. CONTRACTOR IS ENCOURAGED TO PROVIDE WRITTEN ALTERNATE LIST OF MATERIALS, SIZES AND NUMBERS SUBSTITUTION FOR COST-EFFECTIVE MAINTENANCE OF DESIGN INTEGRITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY MATERIAL THAT HE/SHE DEEMS UNACCEPTABLE. REJECTED MATERIAL SHALL BE REMOVED PROMPTLY FROM THE SITE.
- BALLED AND BURLAPPED PLANTS SHALL BE DUG WITH FIRM NATURAL BALLS OF EARTH. BALL SIZES SHALL BE IN ACCORDANCE WITH A.A.N.SPECIFICATIONS. ALL CONTAINER GROWN STOCK SHALL BE WELL ROOTED AND ESTABLISHED IN THE CONTAINER IN WHICH IT IS SOLD. AN ESTABLISHED CONTAINER GROWN PLANT SHALL HAVE A ROOT SYSTEM DEVELOPED SUFFICIENTLY TO RETAIN ITS SHAPE WHEN REMOVED FROM THE CONTAINER.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE SPECIFIED. PRUNING SHALL BE DONE BEFORE PLANTING OR DURING THE PLANTING OPERATION.
- ALL PLANT MATERIAL SHALL BE COVERED AND PROTECTED FROM EXCESSIVE DRYING DURING TRANSIT.
- ANTIDESICCANTS SHALL BE APPLIED ON ALL MATERIAL DUG WHILE IN FOLIAGE.
- MULCH MATERIAL SHALL BE EITHER SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. MATERIAL SHALL BE MULCHING GRADE, UNIFORM IN SIZE AND FREE OF FOREIGN MATTER.

17.TOPSOIL MIXTURE SHALL BE 2 PARTS EXISTING SOIL MIXED EVENLY WITH 1 PART SPAGNUM PEAT MOSS OR PEAT HUMUS. EXISTING SOIL SHALL BE FREE OF STONES, LUMPS, PLANTS,ROOTS AND OTHER DEBRIS OVER 1 1/2 INCHES. IT SHALL NOT CONTAIN TOXIC SUBSTANCES HARMFUL TO PLANT GROWTH. TOPSOIL SHALL HAVE A PH RANGE OF 5.0 TO 7.0.

- PLANTING PROCEDURES FOR TREES AND SHRUBS
 - PLANTING SHALL OCCUR IN ACCORDANCE WITH ALL DETAILS.
 - TREES AND SHRUBS SHALL BE PLACED IN THE PLANTING PIT, BY LIFTING FROM THE BALL (NEVER FORM THE BRANCHES OR TRUNK). ALL PLANT MATERIAL SHALL BE PLACED IN A STRAIGHT POSITION WITHIN THE PLANTING PIT. WITH THE MOST DESIRABLE SIDE PLACED TOWARDS THE PROMINENT VIEW (SIDEWALK, STREET, ETC.).
 - THE TREE PIT SHALL BE BACKFILLED WITH A SOIL MIXTURE AS PER SPECIFICATIONS. THE PIT SHALL BE FILLED HALFWAY INITIALLY AND TAMPED FIRMLY. ALL ROPES, WIRES, ETC. ON THE ROOTBALL SHALL BE CUT AND THE BURLAP OR BALL WRAP PULLED BACK TO THE EDGE OF THE ROOTBALL. COMPLETE BACKFILLING PLANT PIT AND TAMP FIRMLY. BACKFILL SOIL SHALL NOT COVER TOP OF ROOTBALL. MULCH ROOTBALL AND SAUCER WITH MINIMUM OF 3 INCHES SHREDDED OR CHIPPED HARDWOOD OR PINE MULCH. WATER THOROUGHLY OR UNTIL PLANT PIT IS FILLED.



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DATE	4/30/2019
SCALE	AS SHOWN
REVISIONS	
6/5/2019	

EROSION AND SEDIMENT CONTROL NARRATIVE

PROJECT DESCRIPTION: THE PURPOSE OF THIS PROJECT IS FOR THE CONSTRUCTION OF A PARKING AREA AND ACCESS DRIVE TO SERVE THE EXISTING HISTORICAL BUILDING. MINIMAL GRADING WILL OCCUR WITH THE PROJECT AND ONLY THAT NECESSARY TO INSTALL THE PROPOSED PARKING SPACES. ACCESS TO THE SITE WILL BE FROM THE EXISTING COMMERCIAL CONCRETE ENTRANCE. THE LIMITS OF DISTURBANCE IS 0.22 AC AND THEREFORE A VSMF PERMIT IS NOT REQUIRED FOR THE PROJECT SINCE THE LIMITS OF DISTURBANCE IS LESS THAN 1 ACRE.

EXISTING SITE CONDITIONS: THE EXISTING SITE CONTAINS A HISTORICAL BUILDING, GARAGE, DRIVEWAY, DRAINAGEWAY, AND MISCELLANEOUS LANDSCAPING. THE NORTHERN PORTION OF THE SITE INFILTRATES INTO THE SOIL AND THE SOUTHERN PORTION OF THE SITE FLOWS TO THE EXISTING DRAINAGEWAY.

ADJACENT PROPERTY: THE DEVELOPMENT AREA IS BOUNDED BY WEST MAIN STREET (RTE. 11/460) TO THE NORTH, AND COMMERCIAL PROPERTIES TO THE SOUTH, WEST, AND EAST.

OFF-SITE AREAS: ANY EXCESS MATERIAL WILL BE TRANSPORTED OFF-SITE TO AN APPROVED FILL LOCATION.

SOILS: THE "SOIL SURVEY OF ROANOKE COUNTY AND THE CITIES OF ROANOKE AND SALEM, VIRGINIA" AS PREPARED BY THE UNITED STATES DEPARTMENT OF AGRICULTURE IDENTIFIES THE SITE AS 57A--WHEELING URBAN LAND COMPLEX ALONG WEST MAIN STREET AND 42A SINDIAON LOAM FOR THE REMAINING PORTION OF THE SITE.

CRITICAL EROSION AREAS: CRITICAL AREAS FOR THIS PROJECT INCLUDE THE RIGHT OF WAY OF WEST MAIN STREET.

EROSION AND SEDIMENT CONTROL MEASURES: UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE "VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, THIRD EDITION" (VESCH). THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE DIRECTED BY THE LOCAL PROGRAM ADMINISTRATOR.

STRUCTURAL -- CONSTRUCTION ENTRANCE--STD. 3.02.....A STONE PAD, LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS TO THE CONSTRUCTION SITE, TO REDUCE THE SOIL TRANSPORTED ONTO PUBLIC ROADS AND OTHER PAVED AREAS.

SILT FENCE--STD. 3.05.....A TEMPORARY BARRIER CONSTRUCTED ALONG THE PERIMETER OF THE DISTURBED AREA AS REQUIRED TO INTERCEPT AND DETAIN SEDIMENT.

INLET PROTECTION--STD. 3.07.....A SEDIMENT FILTER TO PREVENT SEDIMENT FROM ENTERING, ACCUMULATING IN AND BEING TRANSFERRED INTO AN INLET AND ASSOCIATED DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION OF A DISTURBED PROJECT AREA.

VEGETATIVE --

TEMPORARY SEEDING--STD. 3.31.....ESTABLISHMENT OF A TEMPORARY VEGETATIVE COVER ON DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE FOR PERIODS OF 30 DAYS TO 1-YEAR BY SEEDING WITH AN APPROPRIATE RAPIDLY GROWING SEED MIXTURE.

PERMANENT SEEDING--STD. 3.32.....ESTABLISHMENT OF A VEGETATIVE COVER BY PLANTING SEED ON ALL FINAL GRADED AREAS THAT WILL NOT RECEIVE AN IMPERVIOUS COVER OR RECEIVE TOPSOIL MATERIAL TO PROVIDE A STABILIZED SITE AFTER THE PROJECT IS COMPLETE.

MULCHING--3.35.....MULCH SHALL BE APPLIED TO ALL TEMPORARY AND PERMANENT SEEDING OPERATIONS TO PROMOTE THE GROWTH OF VEGETATION AND TO PROTECT THE SOIL SURFACE FROM RAINDROP IMPACTS.

MANAGEMENT STRATEGIES:

- A) CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
B) SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING.
C) THE LOCAL PROGRAM ADMINISTRATOR RESERVES THE RIGHT TO ADD TO, DELETE OR OTHERWISE CHANGE THE EROSION CONTROL MEASURES AS DEEMED NECESSARY DUE TO ACTUAL FIELD CONDITIONS BY WRITTEN NOTIFICATION TO THE CONTRACTOR.
D) ALL FILL AND CUT SLOPES SHALL BE SEEDED WITHIN SEVEN (7) DAYS OF ACHIEVING FINAL GRADE!
E) ONLY AFTER INSPECTION AND APPROVAL FROM THE LOCAL PROGRAM ADMINISTRATOR MAY ITEMS BE REMOVED FOLLOWING THE STABILIZATION OF THE CONTRIBUTING AREAS.

INSPECTIONS:

THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND THE AREA OF CONSTRUCTION VEHICLE ACCESS AT LEAST EVERY FOURTEEN (14) CALENDAR DAYS, AND WITHIN 48 HOURS OF THE END OF A STORM EVENT PRODUCING 1/2" OR GREATER OF PRECIPITATION. WHERE AREAS HAVE BEEN FINALLY OR TEMPORARILY STABILIZED OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (SITE IS COVERED WITH SNOW, ICE, OR FROZEN GROUND EXISTS) SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- A) INSPECT DISTURBED AREAS AND AREAS OF MATERIALS STORAGE THAT ARE EXPOSED TO PRECIPITATION FOR EVIDENCE OF, OR THE POTENTIAL FOR SEDIMENT ENTERING THE STORM DRAIN SYSTEM. INSPECT E&S CONTROLS IN ACCORDANCE WITH REQUIREMENTS STATED HEREIN, AND INSPECT POINTS OF STORM DRAIN DISCHARGE FOR EXCESSIVE SEDIMENTATION, CORRECT SITE CONTROLS AS REQUIRED TO REDUCE SEDIMENTATION OF STORM DRAINS, CULVERTS, AND RECEIVING CHANNELS.
B) IF CONTROLS OR SEDIMENT PREVENTION AREAS ARE FOUND TO BE IN NEED OF REPAIR OR MODIFICATION, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES AS REQUIRED. ANY ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES SHALL BE RECORDED AS FIELD REVISIONS TO THESE PLANS. IN THE EVENT THAT ADDITIONAL CONTROLS ARE FOUND TO BE REQUIRED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THESE CONTROLS BEFORE THE NEXT ANTICIPATED STORM EVENT. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICAL, THEY SHALL BE IMPLEMENTED AS SOON AS PRACTICAL.
C) A REPORT SUMMARIZING THE SCOPE OF INSPECTIONS, NAME OF INSPECTOR, INSPECTOR'S QUALIFICATIONS, DATES OF INSPECTIONS, MAJOR OBSERVATIONS PERTAINING TO THE IMPLEMENTATION OF THESE EROSION CONTROL PLANS, AND ACTIONS TAKEN SHALL BE MADE AND RETAINED AS A PART OF THESE PLANS. MAJOR OBSERVATIONS OF THESE REPORTS SHALL INCLUDE: THE LOCATIONS OF EXCESSIVE SEDIMENTATION FROM THE SITE; LOCATIONS OF CONTROLS IN NEED OF REPAIR; LOCATIONS OF FAILED OR INADEQUATE CONTROLS; AND LOCATIONS WHERE ADDITIONAL CONTROLS ARE NEEDED.

STORMWATER MANAGEMENT:

THE POST DEVELOPMENT CONDITION UTILIZES A DRAINAGE PATTERN WHICH MAINTAINS THE PRE-DEVELOPMENT CONDITION OF RUNOFF DISCHARGED AS SHEET FLOW TOWARD AN EXISTING INFILTRATION AREA, AS WELL AS UTILIZING LOW IMPACT DEVELOPMENT TECHNIQUES WITH A PERVIOUS PAVING MATERIAL, THEREFORE NO STORMWATER MANAGEMENT IS REQUIRED FOR THE PROJECT. THE SITE DISTURBANCE AREA IS LESS THAN 1 ACRE THEREFORE NO STORMWATER QUALITY MEASURES ARE REQUIRED FOR THE SITE.

MINIMUM STANDARDS

THE FOLLOWING STANDARDS ARE TO BE PROVIDED OR ADDRESSED ON EVERY DEVELOPMENT PROJECT EXCEEDING 5000 S.F. IN AREA OF DISTURBANCE THESE STANDARDS ARE CONSIDERED A MINIMUM AND MAY REQUIRE ADDITIONAL MEASURES AS DEEMED NECESSARY BY THE LOCAL APPROVING AUTHORITY OR THE CONSULTING ENGINEER.

No.	CRITERIA, TECHNIQUE OR METHOD	PRACTICES PROVIDED
1	PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN (7) DAYS AFTER FINAL GRADE HAS BEEN REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN (7) DAYS TO DENUDED AREAS THAT MAY BE AT FINAL GRADE BUT WILL REMAIN DORMANT (UNDISTURBED) FOR LONGER THAN FOURTEEN (14) DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE (1) YEAR.	TS PS MU
2	DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.	SF TS PS MU
3	A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT, IN THE OPINION OF THE LOCAL PROGRAM ADMINISTRATOR OR DESIGNATED AGENT, IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.	TS PS MU
4	SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.	NOT APPLICABLE
5	STABILIZATION METHODS SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.	TS PS MU
6	SEDIMENT TRAPS AND BASINS SHALL BE DESIGNED AND CONSTRUCTED BASED UPON THE TOTAL DRAINAGE AREA TO BE SERVED BY THE TRAP OR BASIN.	NOT APPLICABLE
7	CUT AND FILL SLOPES SHALL BE CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE (1) YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZATION MEASURES UNTIL THE PROBLEM IS CORRECTED.	TS PS MU
8	CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.	NOT APPLICABLE
9	WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.	
10	ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT AND DEBRIS CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.	IP
11	BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.	NOT APPLICABLE
12	WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.	NO DISTURBANCE OF SURFACE WATERS IS PROPOSED WITH THIS PROJECT.
13	WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX (6) MONTH PERIOD, A TEMPORARY STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL.	
14	ALL APPLICABLE FEDERAL, STATE AND LOCAL CHAPTERS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET. THE BEDS AND BANKS OF ANY WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	
15	THE BEDS AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.	
16	UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA: 1)NO MORE THAN 500 LINEAL FEET OF ANY TRENCH MAY BE OPENED AT ONE TIME. 2)EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. 3)EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY. 4)MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION. 5)RESTALLIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE CHAPTERS. 6)APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.	SF
17	WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SNEEPEL AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.	CE
18	ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE VESCP AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.	TS PS MU
19	PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE FOLLOWING STANDARDS AND CRITERIA. STREAM RESTORATION AND RELOCATION PROJECTS THAT INCORPORATE NATURAL CHANNEL DESIGN CONCEPTS ARE NOT MAN-MADE CHANNELS AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS. a. CONCENTRATED STORMWATER RUNOFF LEAVING A DEVELOPMENT SITE SHALL BE DISCHARGED DIRECTLY INTO AN ADEQUATE OR MAN-MADE RECEIVING CHANNEL, PIPE OR STORM SEWER SYSTEM. FOR THOSE SITES WHERE RUNOFF IS DISCHARGED INTO A PIPE OR PIPE SYSTEM, DOWNSTREAM STABILITY ANALYSES AT THE OUTFALL OF THE PIPE OR PIPE SYSTEM SHALL BE PERFORMED. b. ADEQUACY OF ALL CHANNELS AND PIPES SHALL BE VERIFIED IN THE FOLLOWING MANNER: (1) THE APPLICANT SHALL DEMONSTRATE THAT THE TOTAL DRAINAGE AREA TO THE POINT OF ANALYSIS WITHIN THE CHANNEL IS ONE HUNDRED TIMES GREATER THAN THE CONTRIBUTING DRAINAGE AREA OF THE PROJECT IN QUESTION OR (2) (a) NATURAL CHANNELS SHALL BE ANALYZED BY THE USE OF THE TWO-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS; AND (b) ALL PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS SHALL BE ANALYZED BY THE USE OF THE 10-YEAR STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP ITS BANKS AND BY THE USE OF A 2-YEAR STORM TO DEMONSTRATE THAT STORMWATER WILL NOT CAUSE EROSION OF CHANNEL BED OR BANKS; AND (c) PIPES AND STORM SEWER SYSTEMS SHALL BE ANALYZED BY THE USE OF A TEN-YEAR STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE SYSTEM c. IF EXISTING NATURAL RECEIVING CHANNELS OR PREVIOUSLY CONSTRUCTED MAN-MADE CHANNELS OR PIPES ARE NOT ADEQUATE, THE APPLICANT SHALL: (1) IMPROVE THE CHANNEL TO A CONDITION WHERE A 10-YEAR STORM WILL NOT OVERTOP THE BANKS AND A 2-YEAR STORM WILL NOT CAUSE EROSION TO THE CHANNEL BED OR BANKS; OR (2) IMPROVE THE PIPE OR PIPE SYSTEM TO A CONDITION WHERE THE 10-YEAR STORM IS CONTAINED WITHIN THE APPURTENANCES; OR (3) DEVELOP A SITE DESIGN THAT WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A TWO-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A NATURAL CHANNEL OR WILL NOT CAUSE THE PRE-DEVELOPMENT PEAK RUNOFF RATE FROM A 10-YEAR STORM TO INCREASE WHEN RUNOFF OUTFALLS INTO A MAN-MADE CHANNEL; OR (4) PROVIDE A COMBINATION OF CHANNEL IMPROVEMENT, STORMWATER DETENTION OR OTHER MEASURES WHICH IS SATISFACTORY TO THE VESCP AUTHORITY TO PREVENT DOWNSTREAM EROSION. d. THE APPLICANT SHALL PROVIDE EVIDENCE OF PERMISSION TO MAKE THE IMPROVEMENTS e. ALL HYDROLOGIC ANALYSES SHALL BE BASED ON THE EXISTING WATERSHED CHARACTERISTICS AND THE ULTIMATE DEVELOPMENT CONDITION OF THE SUBJECT PROJECT. f. IF THE APPLICANT CHOOSES AN OPTION THAT INCLUDES STORMWATER DETENTION, HE SHALL OBTAIN APPROVAL FROM THE VESCP OF A PLAN FOR MAINTENANCE OF THE DETENTION FACILITIES. THE PLAN SHALL SET FORTH THE MAINTENANCE REQUIREMENTS OF THE FACILITY AND THE PERSON RESPONSIBLE FOR PERFORMING THE MAINTENANCE. g. OUTFALL FROM A DETENTION FACILITY SHALL BE DISCHARGED TO A RECEIVING CHANNEL, AND ENERGY DISSIPATORS SHALL BE PLACED AT THE OUTFALL OF ALL DETENTION FACILITIES AS NECESSARY TO PROVIDE A STABILIZED TRANSITION FROM THE FACILITY TO THE RECEIVING CHANNEL. h. ALL ON-SITE CHANNELS MUST BE VERIFIED TO BE ADEQUATE. i. INCREASED VOLUMES OF SHEET FLOWS THAT MAY CAUSE EROSION OR SEDIMENTATION ON ADJACENT PROPERTY SHALL BE DIVERTED TO A STABLE OUTLET, ADEQUATE CHANNEL, PIPE OR PIPE SYSTEM OR TO A DETENTION FACILITY. j. IN APPLYING THESE STORMWATER MANAGEMENT CRITERIA, INDIVIDUAL LOTS OR PARCELS IN A RESIDENTIAL, COMMERCIAL OR INDUSTRIAL DEVELOPMENT SHALL NOT BE CONSIDERED TO BE SEPARATE DEVELOPMENT PROJECTS. INSTEAD, THE DEVELOPMENT, AS A WHOLE, SHALL BE CONSIDERED TO BE A SINGLE DEVELOPMENT PROJECT. k. ALL MEASURES USED TO PROTECT PROPERTIES AND WATERWAYS SHALL BE EMPLOYED IN A MANNER WHICH MINIMIZES IMPACTS ON THE PHYSICAL, CHEMICAL AND BIOLOGICAL INTEGRITY OF RIVERS, STREAMS AND OTHER WATERS OF THE STATE. l. ANY PLAN APPROVED PRIOR TO JULY 1, 2014, THAT PROVIDES FOR STORMWATER MANAGEMENT THAT ADDRESSES ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS SHALL SATISFY THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS IF THE PRACTICES ARE DESIGNED TO (i) DETAIN THE WATER QUALITY VOLUME AND TO RELEASE IT OVER 48 HOURS; (ii) DETAIN AND RELEASE OVER A 24-HOUR PERIOD THE EXPECTED RAINFALL RESULTING FROM THE ONE YEAR, 24-HOUR STORM; AND (iii) REDUCE THE ALLOWABLE PEAK FLOW RATE RESULTING FROM THE 1.5, 2, AND 10-YEAR, 24-HOUR STORMS TO A LEVEL THAT IS LESS THAN OR EQUAL TO THE PEAK FLOW RATE FROM SITE ASSUMING IT WAS IN A GOOD FORESTED CONDITION, ACHIEVED THROUGH MULTIPLICATION OF THE FORESTED PEAK RATE BY A REDUCTION FACTOR THAT IS EQUAL TO THE RUNOFF VOLUME FROM THE SITE WHEN IT WAS IN A GOOD FORESTED CONDITION DIVIDED BY THE RUNOFF VOLUME FROM THE SITE IN ITS PROPOSED CONDITION, AND SHALL BE EXEMPT FROM ANY FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS FOR NATURAL OR MAN-MADE CHANNELS AS DEFINED IN ANY REGULATIONS PROMULGATED PURSUANT TO 101-562 OR 101-570 OF THE ACT. FOR PLANS APPROVED ON AND AFTER JULY 1, 2014, THE FLOW RATE CAPACITY AND VELOCITY REQUIREMENTS OF 101-561 A OF THE ACT AND THIS SUBSECTION SHALL BE SATISFIED BY COMPLIANCE WITH WATER QUANTITY REQUIREMENTS IN THE STORMWATER MANAGEMENT ACT (101-603.2 ET SEQ. OF THE CODE OF VIRGINIA) AND ATTENDANT REGULATIONS, UNLESS SUCH LAND-DISTURBING ACTIVITIES ARE IN ACCORDANCE WITH 4VCAS0-60-48 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMF) PERMIT REGULATIONS. n. COMPLIANCE WITH THE WATER QUANTITY MINIMUM STANDARDS SET OUT IN 4VACS0-60-66 OF THE VIRGINIA STORMWATER MANAGEMENT PROGRAM (VSMF) PERMIT REGULATIONS SHALL BE DEEMED TO SATISFY THE REQUIREMENTS OF MINIMUM STANDARD 19.	SEE SUPPLEMENTAL CALCULATIONS FOR FLOOD AND CHANNEL PROTECTION REQUIREMENTS FOR THE PROPOSED DEVELOPMENT.

TABLE 3.32-C (Revised June 2003) PERMANENT SEEDING SPECIFICATIONS FOR APPALACHIAN/MOUNTAIN AREA		
LAND USE	SEED ¹ SPECIES	APPLICATION RATES
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ¹ Perennial Ryegrass ² Kentucky Bluegrass ³	90-100% 0-10% 0-10% TOTAL: 200-250 lbs.
High-Maintenance Lawn	Minimum of three (3) up to five (5) varieties of Kentucky Bluegrass from approved list for use in Virginia ¹	TOTAL: 125 lbs.
General Slope (3:1 or less)	Tall Fescue ¹ Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ³	125 lbs. 2 lbs. 20 lbs. TOTAL: 150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue ¹ Red Top Grass or Creeping Red Fescue Seasonal Nurse Crop ³ Crownvetch ⁴	2 lbs. 20 lbs. 20 lbs. TOTAL: 150 lbs.
1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at http://euden.ces.vt.edu/hm/furlturfguide/publications/publications.htm 2 - Perennial Ryegrass will germinate faster and at lower soil temperatures than Tall Fescues, thereby providing cover and erosion resistance for seedbed. 3 - Use seasonal nurse crop in accordance with seeding dates as stated below: March, April - May 15 th Annual Ryegrass May 16 th - August 15 th Annual Ryegrass August 16 th - September, October Annual Ryegrass November - February Winter Ryegrass 4 - All legume seed must be properly inoculated. If Flatpea is used, increase to 30 lbs/acre. If Weeping Lovegrass is used, include in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.		
FERTILIZER & LIME		
● Apply 10-10-10 fertilizer at a rate of 500 lbs. / acre (or 12 lbs. / 1,000 sq. ft.) ● Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site. - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disk or by other means. - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/esw/e&s.htm#pubs		



PERMANENT SEEDING
SPECIFICATIONS

Erosion & Sediment Control Technical Bulletin No. 4 Nutrient Management for Development Sites (Revised June 2003)					
C. When applying maintenance fertilizer on established sod,					
Pounds of nitrogen per 1,000 sq. ft. if the fertilizer is less than 50 percent WIN					
Type of Grass					
Month	Tall Fescue Perennial Ryegrass	Kentucky Bluegrass	Bermudagrass	Zoysiagrass	
September	1	1	0	0	
October	1	1	0	0	
Early November	0	0	0	0	
April	0	0	0	0	
May	0-0.5	0-0.05	1	1	
June	0	0	0	1	0
July/August	0	0	0	2	1
Yearly Lbs. N/1000 sq ft	2.5	2.5	0	2	
Pounds of nitrogen per 1,000 sq. ft. if the fertilizer is more than 50 percent WIN					
Type of Grass					
Month	Tall Fescue Perennial Ryegrass	Kentucky Bluegrass	Bermudagrass	Zoysiagrass	
August 15	1.5	1.5	0	0	
October 1	1.5	1.5	0	0	
April	0	0	1.5	1.5	
May 15	0	0	0	0	
June	0	0	1.5	1.5	
Yearly Lbs. N/1000 sq ft	3	3	3	3	

FERTILIZER SPECIFICATIONS AND
RATES FOR MANAGEMENT



TEMPORARY SEEDING
SPECIFICATIONS

TABLE 3.31-B (Revised June 2003) TEMPORARY SEEDING SPECIFICATIONS QUICK REFERENCE FOR ALL REGIONS		
APPLICATION DATES	SEED SPECIES	APPLICATION RATES
Sept. 1 - Feb. 15	50/50 Mix of Annual Ryegrass (lolium multi-florum) & Cereal (Winter) Ryegrass (Secale cereale)	50 -100 (lbs/acre)
Feb. 16 - Apr. 30	Annual Ryegrass (lolium multi-florum)	60 - 100 (lbs/acre)
May 1 - Aug. 31	German Millet	50 (lbs/acre)
FERTILIZER & LIME		
● Apply 10-10-10 fertilizer at a rate of 450 lbs. / acre (or 10 lbs. / 1,000 sq. ft.) ● Apply Pulverized Agricultural Limestone at a rate of 2 tons/acre (or 90 lbs. / 1,000 sq. ft.)		
NOTE: 1 - A soil test is necessary to determine the actual amount of lime required to adjust the soil pH of site. 2 - Incorporate the lime and fertilizer into the top 4 - 6 inches of the soil by disk or by other means. 3 - When applying Slowly Available Nitrogen, use rates available in Erosion & Sediment Control Technical Bulletin #4, 2003 Nutrient Management for Development Sites at http://www.dcr.state.va.us/esw/e&s.htm#pubs		

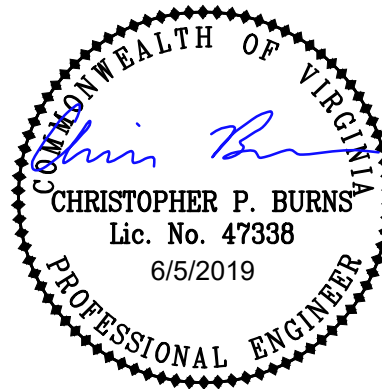


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Roanoke, VA 24018
540.772.9580



PRESTON PLACE PARKING EXPANSION

EROSION & SEDIMENT CONTROL NOTES & DETAILS

1938 WEST MAIN STREET
CITY OF SALEM, ROANOKE COUNTY, VIRGINIA

DRAWN BY CLL
DESIGNED BY BTC
CHECKED BY BTC
DATE 4/30/2019
SCALE AS SHOWN
REVISIONS
6/5/2019

C5
PROJECT NO 04190026.00

**AFFIDAVIT OF MAILING PURSUANT TO S15.2-2204
CODE OF VIRGINIA**

**PLANNING COMMISSION
July 15, 2026**

ITEM #

This is to certify that I mailed letters in reference to the request of The Preston Place Preservation Foundation Inc., property owner and Karita Knisely, for the issuance of a Special Exception Permit to allow an assembly hall, nonresidential uses, in an accessory structure, and nonresidential uses out of doors, and a Use Not Provided for Permit for outdoor gatherings of less than 500 people on the property located at 1936 West Main Street (Tax Map #138-2-7) to the following property owners and adjacent property owners on June 26, 2026 in the 2:00 p.m. mail:

Parcel	Owner Name	Address 1	City	State	Zip
138-1-10	CSTORE SALEM MAIN LLC	260 WEST BALTIMORE PKE	WAWA	PA	19063
138-1-10.1	CARILION CLINIC PROPERTIES LLC	PO BOX 12385	ROANOKE	VA	24025-2385
138-1-11	Q REALTY LLC	PO BOX 8050 MS 0555	BENTONVILLE	AR	72712-8050
138-1-12	MONRO MUFFLER BRAKE INC	6920 POINTE INVERNESS WAY STE 301	FORT WAYNE	IN	46804
138-1-6	RENT-A-SPACE INC	3501 CONCORD RD STE 350	YORK	PA	17402
138-1-7	WAFFLE HOUSE INC	5986 FINANCIAL DR	NORCROSS	GA	30071
138-1-8	CARILION CLINIC PROPERTIES LLC	PO BOX 12385	ROANOKE	VA	24025-2385
138-2-3	ORNELAS MAIN STREET LLC	2032 W MAIN ST	SALEM	VA	24153
138-2-4	DESAI BROTHER REAL ESTATE LLC	3303 CIRCLE BROOK DR	ROANOKE	VA	24018
138-2-6.1	ROBO LLC	5942 COLEMAN RD	ROANOKE	VA	24018
138-2-7	THE PRESTON PLACE PRESERVATION FOUNDATION INC	PO BOX 235	SALEM	VA	24153
139-1-1	WAL-MART REAL ESTATE BUSINESS TRUST	PO BOX 8050 MS 0555	BENTONVILLE	AR	72712-0555
139-5-1	GO-MART INC	915 RIVERSIDE DR	GASSAWAY	WV	26624
139-5-2	81 REALTY INC	PO BOX 2170	LELAND	NC	28451
139-5-3	81 REALTY INC	PO BOX 2170	LELAND	NC	28451
139-5-7	PINE RIDGE	3052	FLOYD	VA	24091

166-1-1	1972 SALEM INDUSTRIAL DR OWNER LLC	10275 W HIGGINS RD STE 810	ROSEMONT	IL	60018
168-2-6	USF PROPCO I LLC	PO BOX 30308	CHARLOTTE	NC	28230
177-1-1.1	QUALICHEM INC	PO BOX 926	SALEM	VA	24153
177-1-2	HELM BUILDING ENTERPRISES LTD	PO BOX 2789	SALEM	VA	24153-0580

Signed: Max Dillon Date: 6/26/26

Max Dillon

City of Salem

Commonwealth of Virginia

The foregoing instrument was acknowledged before me this 26th day of June, 2026 by

Tammy Dunn

Notary Public

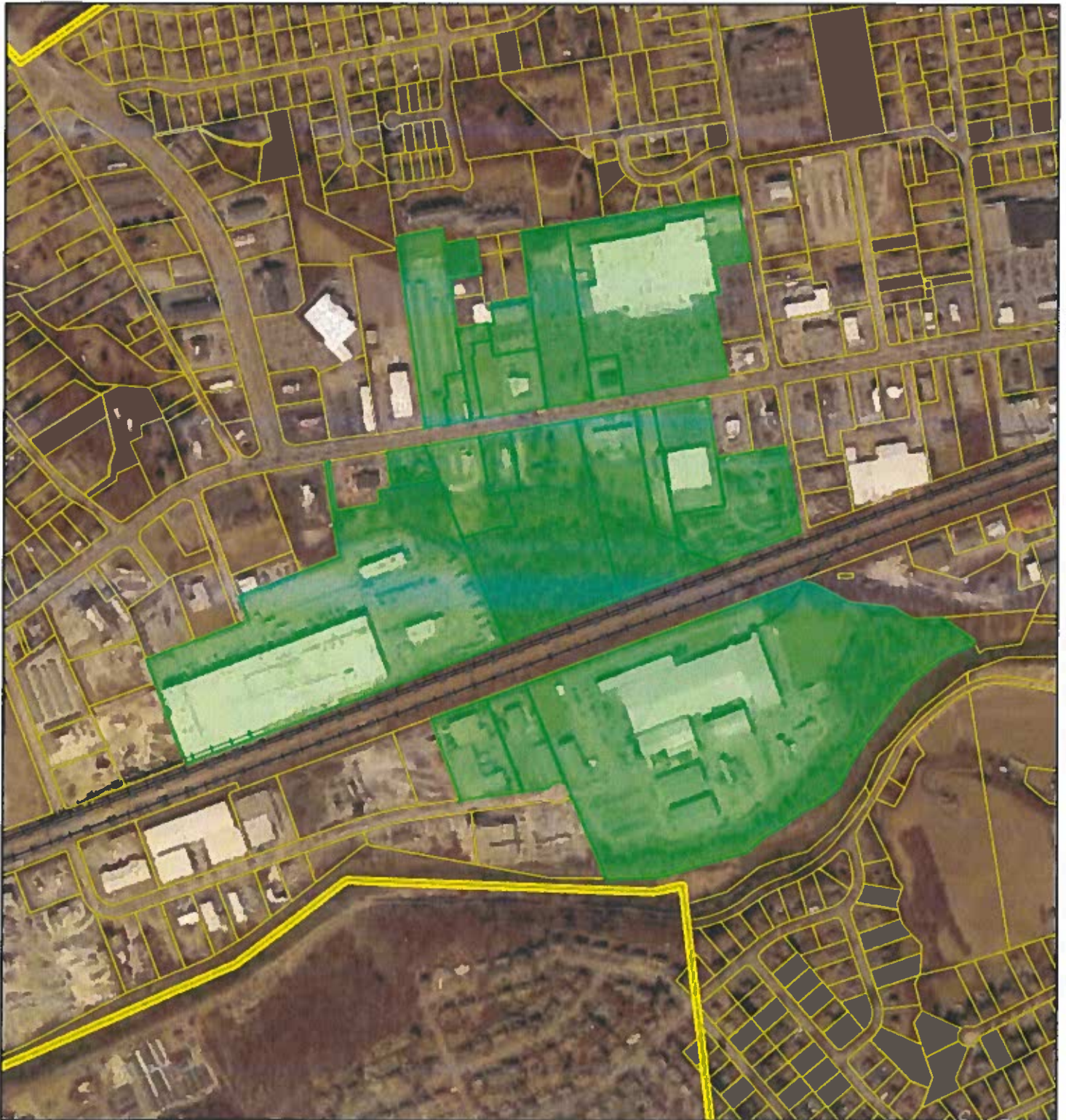
My commission expires 10/31/2028





City of Salem, VA

1936 W main



Date Created: 6/8/2026
Created By: anonymous

1 inch = 591 feet
|-----|

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**RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF SALEM, VIRGINIA:**

**A RESOLUTION ADOPTING A WRITTEN POLICY FOR
PARTICIPATION IN PLANNING COMMISSION MEETINGS
THROUGH ELECTRONIC COMMUNICATION**

WHEREAS, a member of the City of Salem Planning Commission may participate in the conduct of a Planning Commission meeting through electronic means from a remote location as provided in Chapter 37, Title 2.2, Section 3708.3 of the Code of Virginia; and

WHEREAS, this code section was amended effective July 1, 2024, to require the public body annually adopt a policy addressing participation in public meetings; and

NOW, THEREFORE, BE IT RESOLVED by the City of Salem that the attached policy is established for Commission members' remote electronic participation in Planning Commission meetings for the City fiscal year 2026- 2027:

Upon a call for an aye and a nay vote, the same stood as follows:

Nathan Routt	-
Mark Henrickson	-
Jackson Beamer	-
Reid Garst	-
Denise King	-

ATTEST:

Christopher J. Dorsey
Executive Secretary
Planning Commission
City of Salem, Virginia

REMOTE PARTICIPATION POLICY FOR MEETINGS
PLANNING COMMISSION OF THE CITY OF SALEM, VIRGINIA

A member of the Commission may participate in the conduct of a Commission meeting through electronic means from a remote location as provided in Section 2.2-3708.2 of the Code of Virginia, subject to the following requirements:

1. On or before the date of the meeting, a Commissioner wishing to participate from a remote location in a meeting of the Planning Commission shall notify the Chairperson that the Commissioner is unable to attend due to (a) a personal matter and identifies with specificity the nature of the personal matter, or (b) a temporary or permanent disability or other medical condition that prevents the Commissioner's physical attendance.

2. Participation by a Commissioner by electronic means due to a personal matter is limited each calendar year to two meetings. The Commission shall record in its minutes the specific nature of the personal matter of the remote Commissioner.

The Commission shall also record in its minutes the fact that a Commissioner participated due to temporary or permanent disability or other medical condition that prevented the Commissioner's physical attendance.

3. The Commission shall record in its minutes the remote location from which the Commissioner participated.

4. The participation at the Planning Commission meeting of such remote Commissioner is subject to approval by a quorum of the Commission assembled at one central meeting location. If the absent Commissioner's remote participation is disapproved because such participation would violate this policy, such disapproval shall be recorded in the minutes.

5. The Commission shall make arrangements for the voice of the remote Commissioner to be heard by all persons at the central Planning Commission meeting location.

6. A quorum of the Commission must be physically assembled at the central meeting location to allow such remote participation. The remote location need not be open to the public.